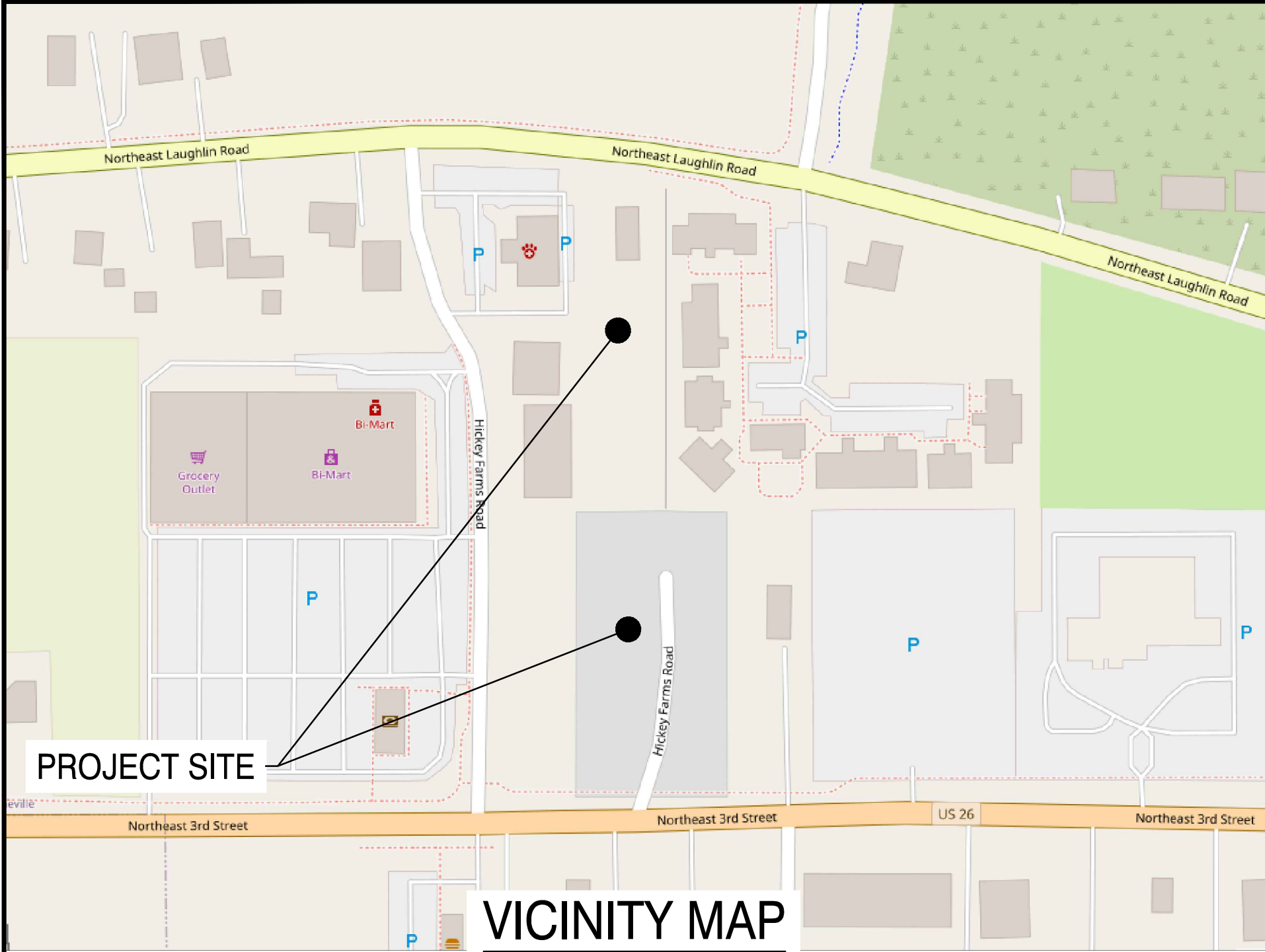


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VICINITY MAP

NTS

SITE INFORMATION

LOT	MAP	ADDRESS
700	151604B	2102 NE LAUGHLIN RD, PRINEVILLE, OR, 97754
4401	151604B	2121 NE 3RD ST, PRINEVILLE, OR, 97754

ACRES	ZONING
1.00	R2
1.20	R2

OWNER

DONNA M STANDLEY
873 SE 7TH ST, PRINEVILLE, OR 97754

LAND SURVEYOR / CIVIL ENGINEER

H.A. M^CCOY ENGINEERING & SURVEYING
CONTACT: HAYES M^CCOY
1180 SW LAKE ROAD SUITE 201
REDMOND, OR 97756
PH: 541-923-7554

SHEET INDEX

P1.0	COVER SHEET AND PROJECT OVERVIEW
P1.1	EXISTING CONDITIONS TL 700 & TL 4401
P1.2	SITE AND UTILITY PLAN
P1.3	LANDSCAPE AND DRAINAGE PLAN
P1.4	TENTATIVE PLAT

UTILITY STATEMENT

UNDERGROUND UTILITIES WERE MARKED BY ONE CALL OREGON UNDER TICKET NO. 23134488 AND 23134489.

THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

EXISTING UNDERGROUND UTILITY LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITIES.

VERTICAL DATUM

ELEVATIONS ARE BASED ON NGS BENCHMARK QD1460 BEING A STAINLESS STEEL ROD IN MONUMENT CASE AT THE NW QUADRANT OF US HWY 26 AND COMBS FLAT ROAD. ELEVATION: 2892.43 (NAVD88)

LEGEND

EXISTING	PROPOSED	
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE, DRYWELL
		WATER VALVE, GAS VALVE
		AIR RELEASE VALVE
		BACKFLOW PREVENTER
		WATER METER, GAS METER
		FIRE HYDRANT
		CATCH BASIN/CURB INLET
		CLEAN OUT
		RAIN DRAIN
		STREET LIGHT, PARKING LOT LIGHT
		UTILITY POLE, GUY ANCHOR
		UTILITY VAULT
		ELECTRICAL PEDESTAL
		CABLE PEDESTAL
		TELECOMMUNICATIONS PEDESTAL
		IRON ROD, IRON PIPE
		TREES
		SIGN
		MAILBOX

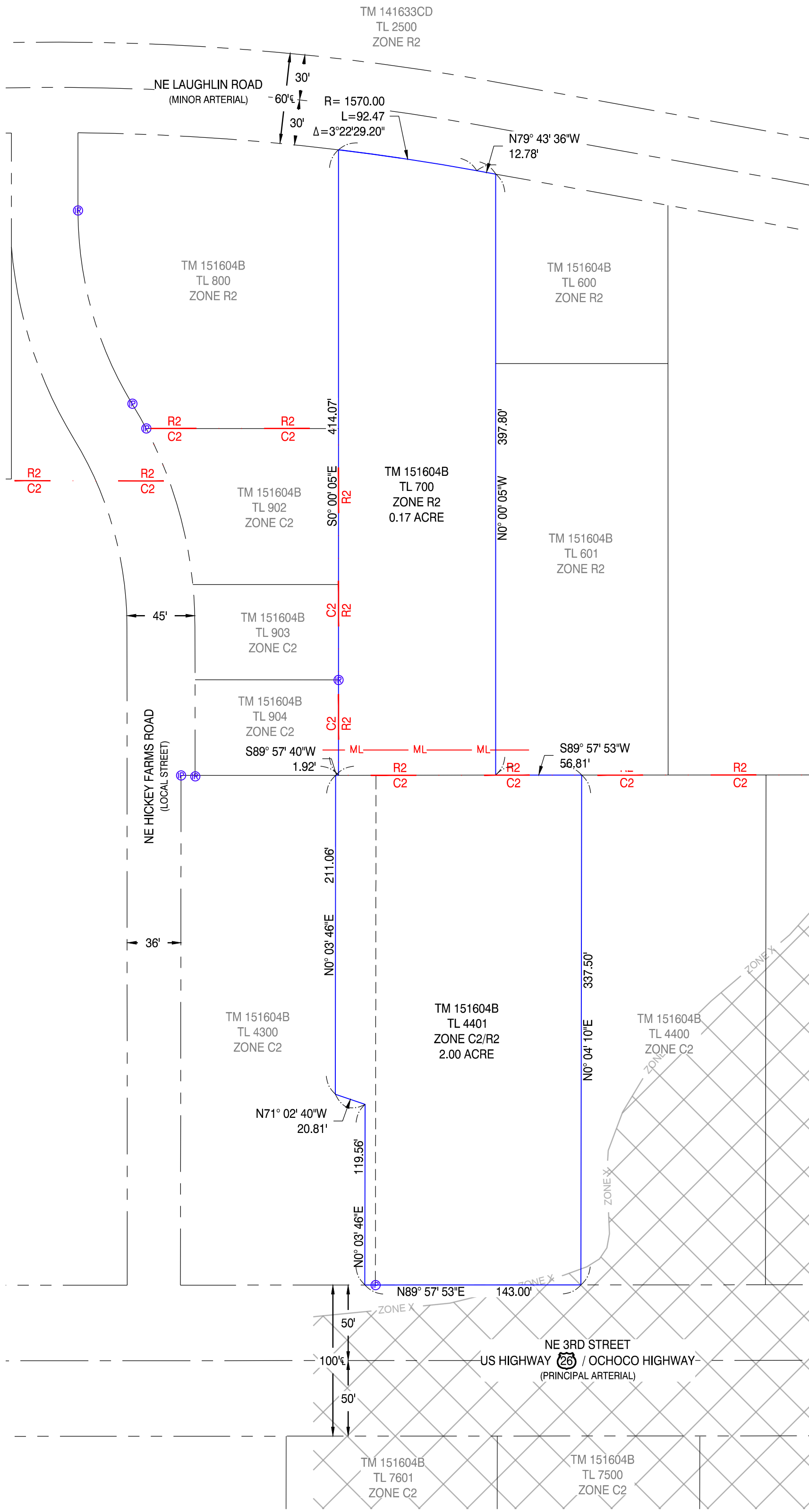
WILLOWDALE ESTATES

SITE PLAN

TAX MAP 151604B LOT 700, 2102 NE LAUGHLIN RD, PRINEVILLE, OR, 97754

151604B 4401, 2121 NE 3RD ST, PRINEVILLE, OR, 97754

AUGUST, 2023



PROJECT OVERVIEW

SCALE: 1" = 60'
FOR 34"x22" SHEETS

LEGEND

CURB	STANDARD CURB
CG	CURB AND GUTTER
MC	MOUNTABLE CURB
EC	EDGE OF CONCRETE
EG	EDGE OF GRAVEL
EP	EDGE OF PAVEMENT



CONC	CONCRETE PIPE
CI	CAST IRON
CO	COPPER
DI	DUCTILE IRON
GP	GALVANIZED PIPE
GI	GALVANIZED IRON PIPE
SP	STEEL PIPE
CPP	CORRUGATED PLASTIC PIPE
CMP	CORRUGATED METAL PIPE
PVC	POLYVINYL CHLORIDE PIPE



DATE:

REVISION:

No.

DATE:

DRAWING STATUS:

EXISTING COND

SITE PLAN

DATE:

DATE:

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DATE:

PROJECT: WILLOWDALE ESTATES

PROJECT LOCATION: PRINEVILLE, OR

CLIENT: BRODY PORTERFIELD

SHEET TITLE: COVER SHEET AND PROJECT OVERVIEW

JOB NO.

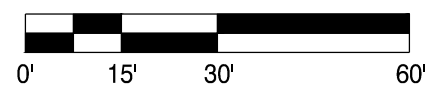
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CPF

DRAWING:

P1.0



EXISTING CONDITIONS
TL 4401

REGISTERED PROFESSIONAL
ENGINEER
65686
OREGON
JAMES A. MCCOY
RENEWAL DATE: 12/31/24

H.A. McCOY
ENGINEERING & SURVEYING, LLC
1180 BVL Lake Pointe, Suite 201, Richmond, VA 97756
Haynes, McCoy
PE, MS, CWR2
haynes@ham-engr.com
541-923-7554

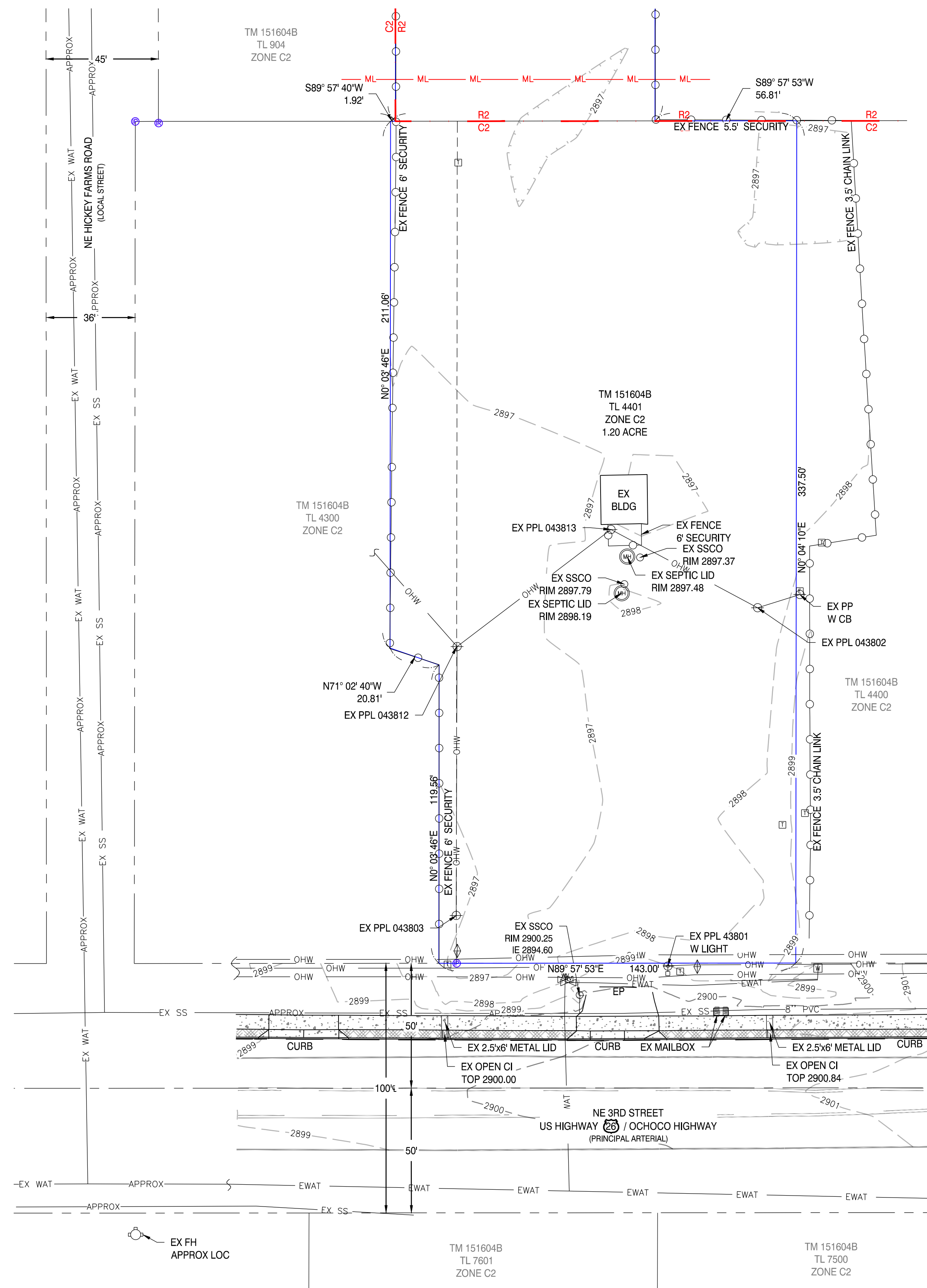
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PROJECT LOCATION: PRINEVILLE, OR

CLIENT: BRODY PORTERFIELD

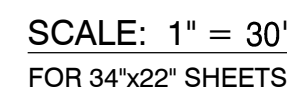
SHEET TITLE:
EXISTING CONDITIONS
TL 700 & TL 4401

JOB NO.	22-024
DRAWN BY:	CPF
DRAWING:	P1.1



LOT FRONTAGE:	50'		
SETBACKS		R2	C2
FRONT	ARTERIAL	10	
	GARAGE TO STREET/ALLEY	20	
	GARAGE TO SIDEWALK	25	
SIDE		5	
	ADJACENT TO R ZONE	-	10
REAR		10	
	ADJACENT TO R ZONE	-	10
COVERAGE	MAX	35%	
BUILDING HEIGHT MAX		35'	35'
CLEAR VISION	STREET INTERSECTION ALLEY OR PED PATH	25'	20'
		15'	25'

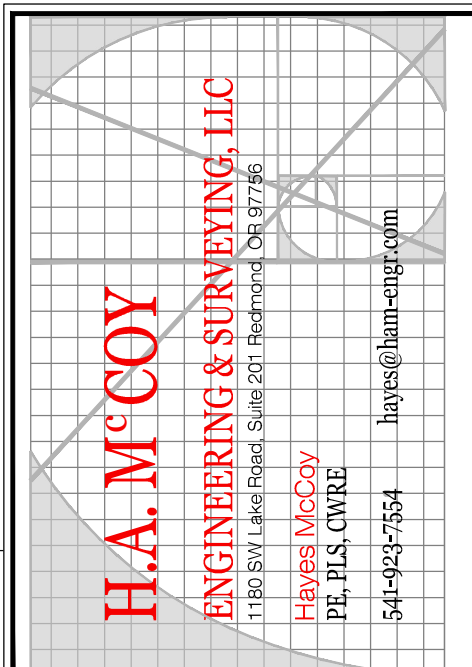
1	24' WIDE PAVED DRIVE AISLE.
2	9' X 19' PARKING SPACE (TYP).
3	9' X 19' ADA PARKING SPACE WITH LOADING ZONE.
4	CONSTRUCT MOUNTABLE CURB. PAINT RED WITH NO PARKING AT APPROVED INTERVALS.
5	CONSTRUCT STANDARD CURB AND TRANSITION TO MOUNTABLE CURB.
6	5' WIDE CONCRETE SIDEWALK.
7	PROPOSED SEWER CONNECTION.
8	INSTALL NO PARKING FIRE LANE SIGN (TYP).
9	INSTALL CLEANOUT.
10	INSTALL WATER METER AND BACKFLOW PREVENTER. EXTEND WATER THROUGH SITE TO PROPOSED BUILDINGS.
11	PROPOSED PUBLIC FIRE HYDRANT WITHIN 20' EASEMENT.
12	25' CLEAR VISION TRIANGLE.
13	RELOCATE UTILITY POLE AND CONNECT POWER UNDERGROUND.
14	INSTALL PERIMETER FENCE.
15	RELOCATE UTILITY PEDISTAL.
16	CONSTRUCT 20' DRIVEWAY ACCESS.
17	CONSTRUCT 36' DRIVEWAY ACCESS.
18	RELOCATE UTILITY POLE.
19	PRIVATE SEWER LINE WITH PUMP STATION WITHIN 10 EASEMENT FOR EXISTING RESIDENCE.



SITE AND UTILITY PLAN



DRAWING STATUS:	DATE:	No.	REVISION:	DATE:
☒ EXISTING COND	7/3/23	△		
☒ SITE PLAN	8/7/23	△		
☐		△		
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☐		△		
☐		△		



PROJECT: WILLOWDALE ESTATES

PROJECT LOCATION: PRINEVILLE, OR

CLIENT: BRODY PORTERFIELD

SHEET TITLE: SITE AND UTILITY PLAN

JOB NO.	22-024
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DRAWING:	P1.2

LANDSCAPING HATCH LEGEND

	BARK MULCH	16,848 SF
	IRRIGATED SOD	2,700 SF
	NATIVE LANDSCAPE (NOT COUNTED TOWARD REQUIRED)	13,400 SF
	STORMWATER SWALE	

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY
ACER RUBRUM "RED SUNSET" OR APPROVED EQUAL	RED MAPLE	2" CAL.	19
BUNCH GRASSES-EXAMPLE SPECIES			
HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	125
CALAMAGROSTIS X CULTIFLORA	KARL FOERSTER	1 GAL	
FESTUCA IDAHOENSIS	IDAHO FESCUE	1 GAL	

STANDLEY MANUFACTURED HOUSING PARK

TM LOT	SITUS ADDRESS	ZONE	ACRES
151604BO 4401	2121 NE 3RD ST, PRINEVILLE OR 97754	R2	0.80
		C2	1.20
			2.00 = 87,238 SF

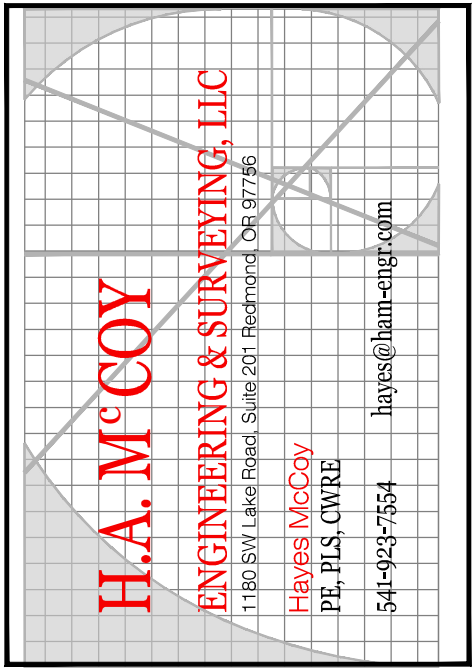
LANDSCAPING: 20% PER MULTIFAMILY & COMPLEXES STANDARD
REQUIRED 17,448 SF
PROPOSED 19,548 SF (BARK MULCH & SOD)
13,400 SF (NATIVE)

IRRIGATION NOTE

AUTOMATED IRRIGATION SYSTEM PROPOSED FOR SOD.
DRIP IRRIGATION FOR PLANTS IN BARK MULCH AREAS



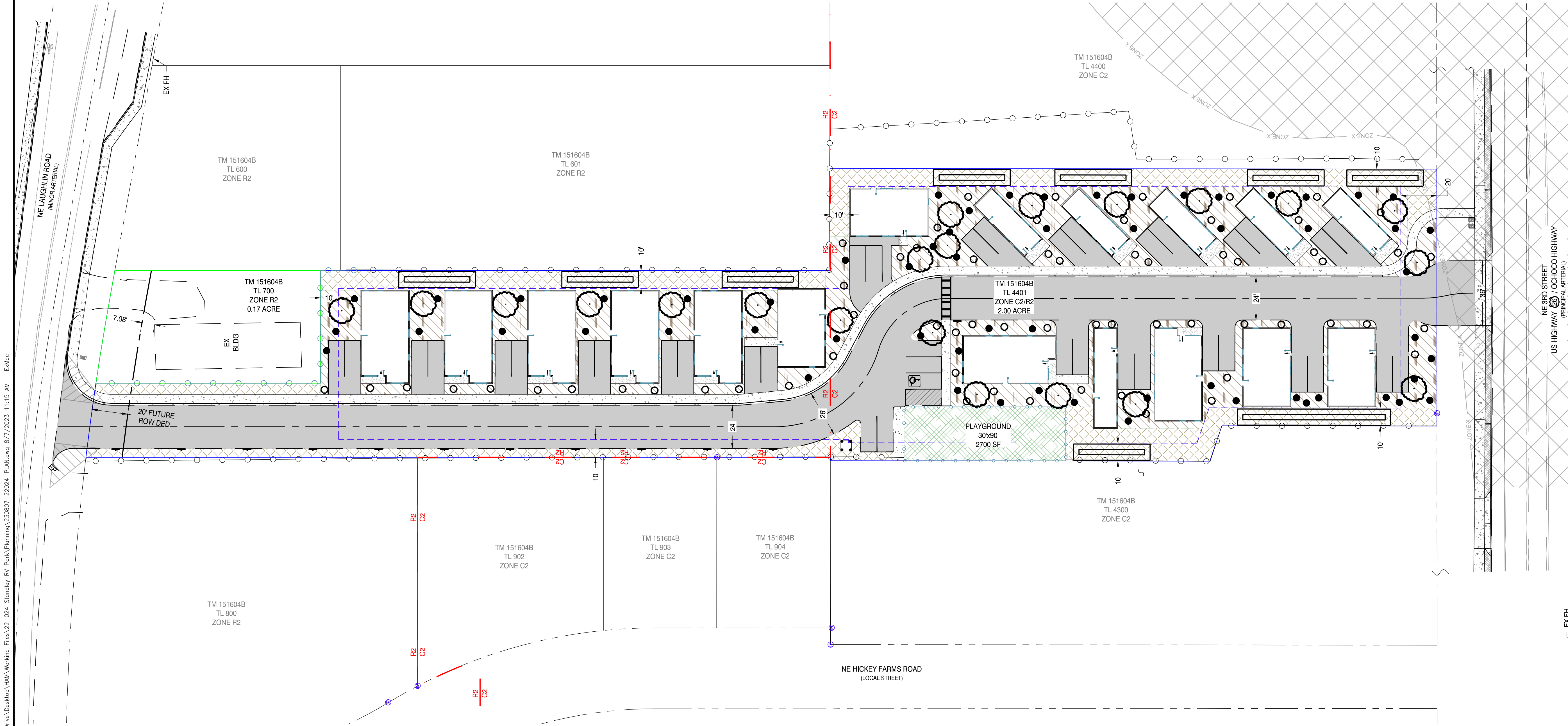
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☒ EXISTING COND	7/3/23		
☒ SITE PLAN	8/7/23		
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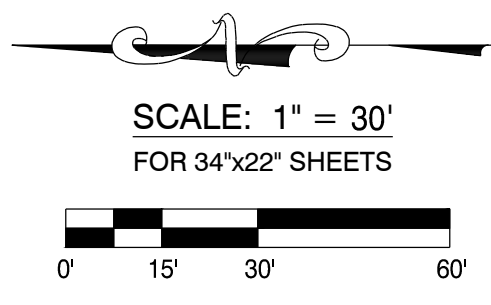
PROJECT:	WILLOWDALE ESTATES
PROJECT LOCATION:	PRINEVILLE, OR
CLIENT:	BRODY PORTERFIELD

SHEET TITLE:	LANDSCAPE AND DRAINAGE PLAN
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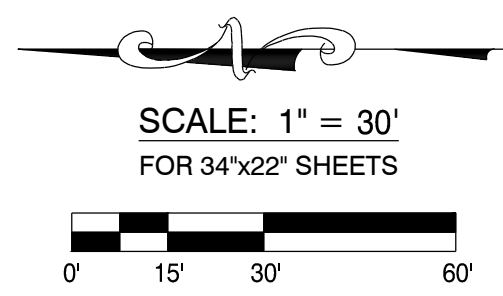
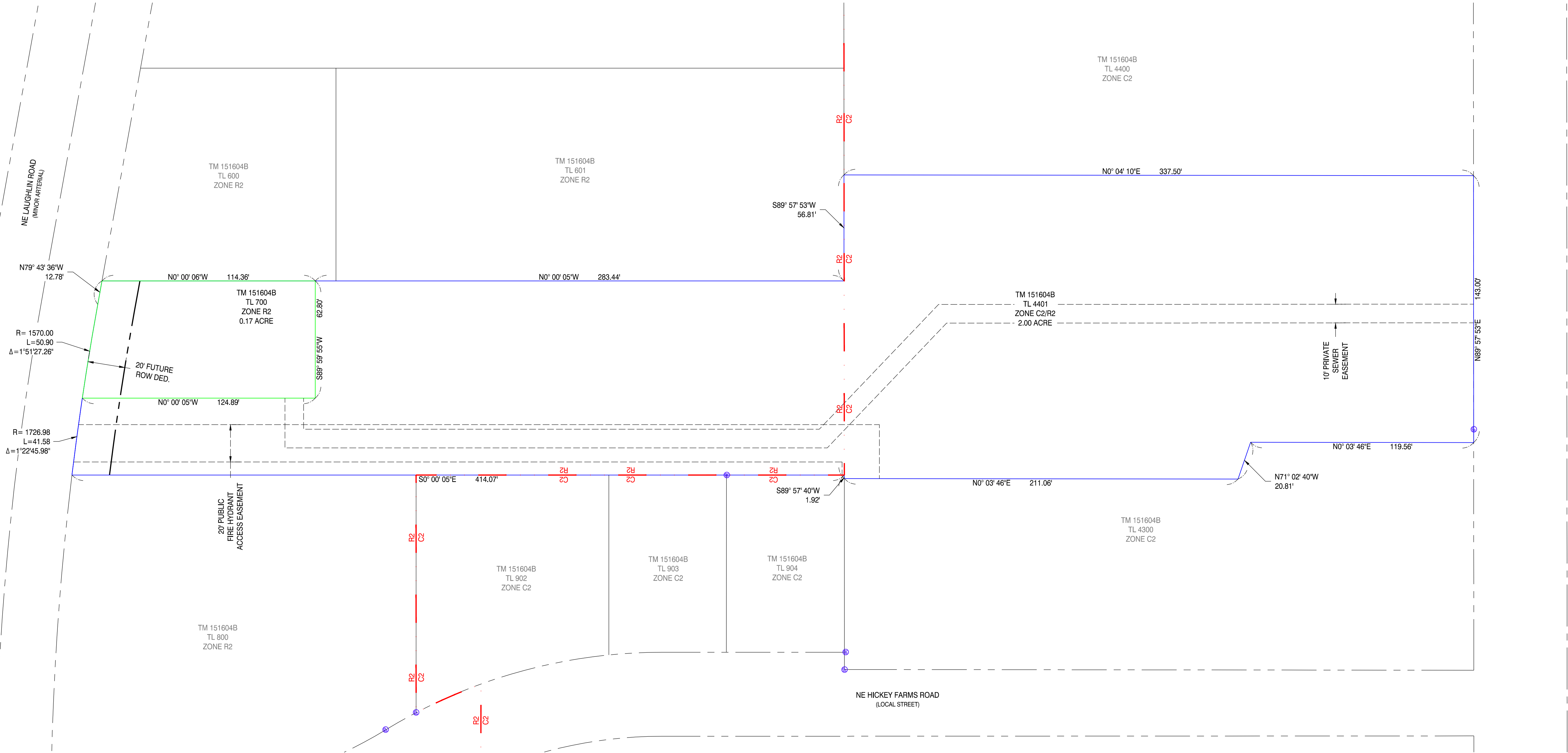


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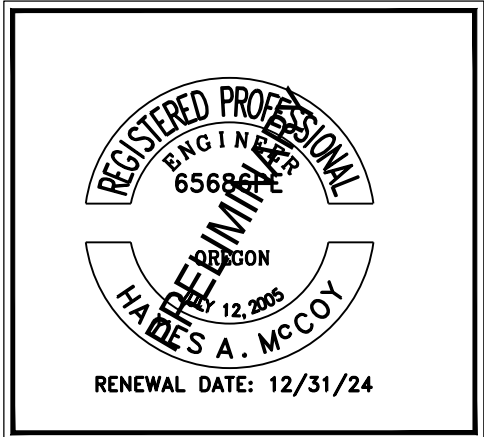


LANDSCAPE AND DRAINAGE PLAN

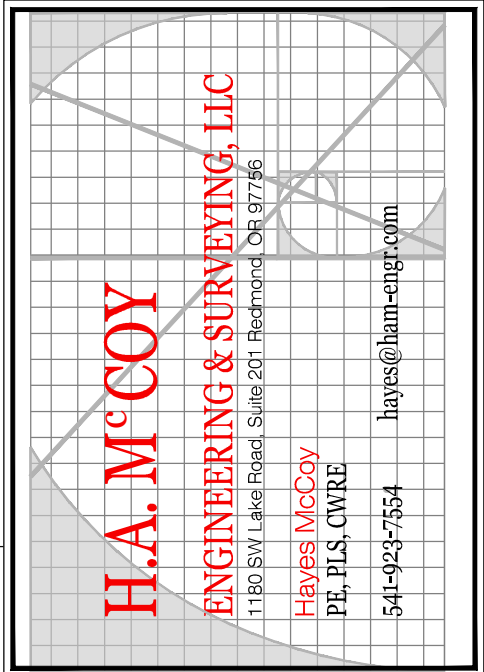
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TENTATIVE PLAT



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☒ EXISTING COND	7/3/23	△		
☒ SITE PLAN	8/7/23	△		
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PROJECT: WILLOWDALE ESTATES
PROJECT LOCATION: PRINEVILLE, OR
CLIENT: BRODY PORTERFIELD

SHEET TITLE: TENTATIVE PLAT

JOB NO. 22-024
DRAWN BY: CPF
DRAWING: P1.4