

Madras-Prineville Highway and Studebaker Drive
APRIL 2025

ARCHITECT:
PINNACLE ARCHITECTURE
1001 SW DISK DR - SUITE 105
BEND, OR 97702
(541) 388-9897
CONTACT: MARK ROSSI

JURISDICTION:
CITY OF PRINEVILLE
387 NE 3RD ST
PRINEVILLE, OR 97754
(541) 447-5627

PRELIMINARY SITE DATA & CALCULATIONS

TOTAL PROPERTY AREA:	43,700 sq.ft.
PROPOSED BUILDING AREAS:	2,880 sq.ft.
TOTAL BUILDING COVERAGE:	6.6%
TOTAL PRIVATE PAVED AREA:	10,346 sq.ft.
TOTAL PRIVATE PAVED COVERAGE:	23.7%
TOTAL PRIVATE SIDEWALK AREA:	3,346 sq.ft.
TOTAL PRIVATE SIDEWALK COVERAGE:	7.7%
TOTAL PRIVATE LANDSCAPE AREA:	13,525 sq.ft.
TOTAL PRIVATE LANDSCAPE COVERAGE:	30.9%
TOTAL OPEN/UNDISTURBED AREA:	13,603 sq.ft.
TOTAL OPEN/UNDISTURBED COVERAGE:	31.1%

SITE REQUIREMENTS (RESIDENTIAL R1)

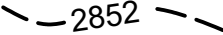
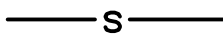
SETBACKS:

FRONT (MADRAS-PRINEVILLE HWY)	10 ft
EXTERIOR SIDE (STUDEBAKER DR)	10 ft
INTERIOR SIDE	10 ft*
REAR	10 ft

* - Note 10ft Setback for Cottage Clusters

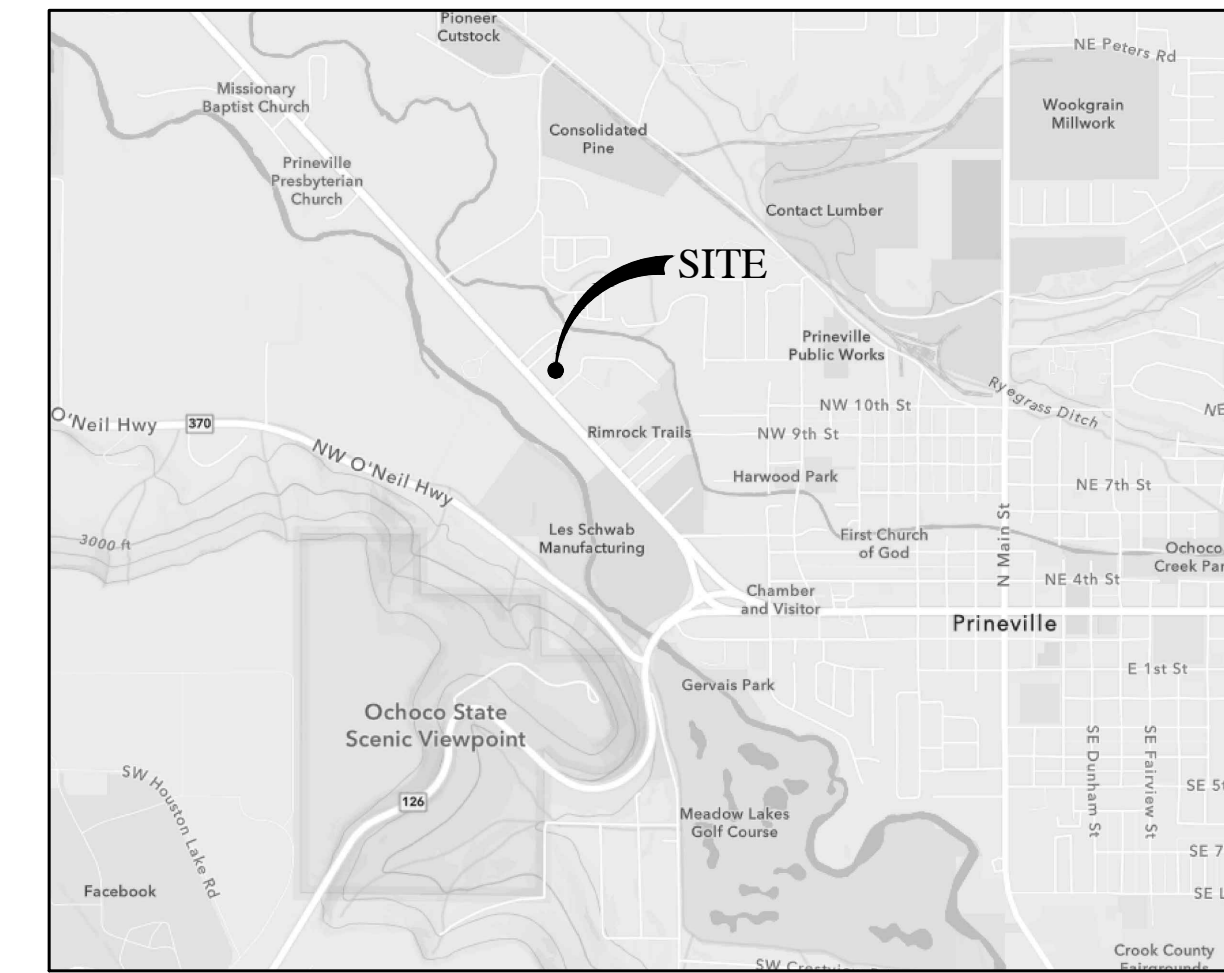
MAXIMUM BUILDING HEIGHT: 28 ft

LEGEND

- | | |
|---|--|
|  | = Found monument as noted |
|  | 6"D = Existing Decidious Tree |
|  | wv = Existing Water Valve |
|  | wm = Existing Water Meter |
|  | hb = Existing Hydrant Hose Bib |
|  | 6"pvc = Existing 6" PVC pipe |
|  | gm = Existing Gas Meter |
|  | sco = Existing Sewer Cleanout |
|  | phpd = Existing Phone Box or Pedestal |
|  | pp = Existing Power Pole |
|  | icv = Existing Irrigation Control Box or Valve |
|  | 2852 = Existing Elevation Contour |
|  | w = Existing Water Line Locate |
|  | s = Existing Sewer Line Locate |
|  | p = Existing Overhead Power Line |
|  | gas = Existing Natural Gas Line Locate |
|  | ut = Existing Cable/Phone/Fiber Optic Locate |
| (D) | = Dimensions per current property deed |
| (R) | = Record data per CS# 3890 |
| (C) | = Calculated dimension |

SHEET INDEX

T1	SITEPLAN OVERALL
T2	SITEPLAN DETAIL
T3	GRADING, DRAINAGE & UTILITY PLAN
T4	LANDSCAPE PLAN



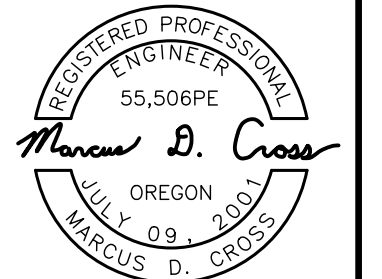
VICINITY MAP
N.T.S.

Pinnacle Architecture
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RHINE-CROSS GROUP LLC
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KLAMATH FALLS, OREGON 97601

admin@rc-grp.com

Phone: (541) 851-9405



RENEWS: 12-31-2025

Prineville Cluster Housing

OREGON

PRINEVILLE

SHEET NAME:

Overall Siteplan

DRAWN BY: TDC

CHK'D BY: MDC

DATE: APRIL 2025

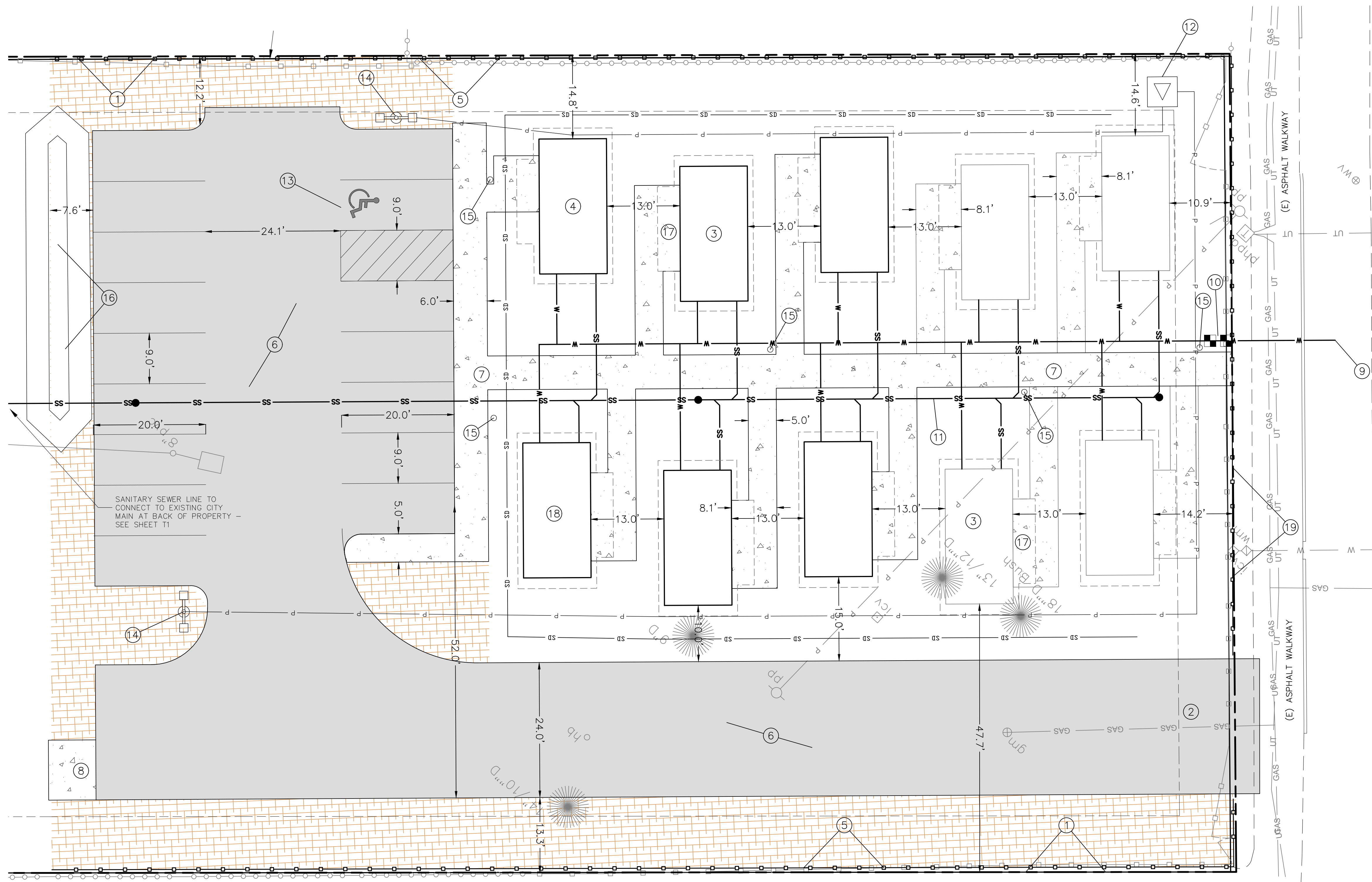
REVISIONS:

JOB NO. _____

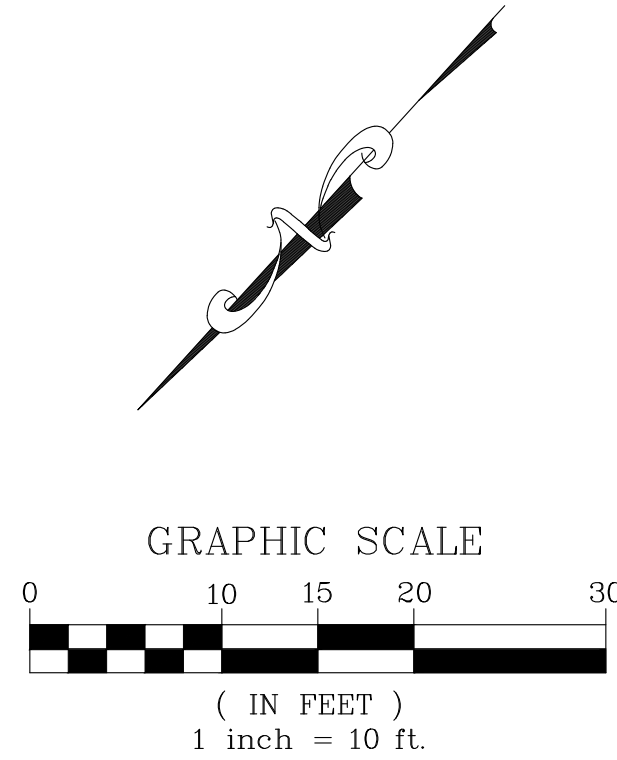
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T1



MADRAS-PRINEVILLE HIGHWAY



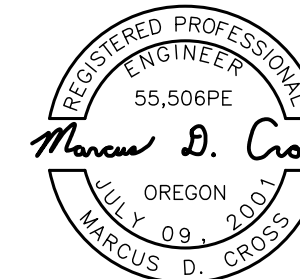
SITEPLAN NOTES:

- PROPERTY LINE
- PROPOSED PUBLIC ROAD ACCESS, WIDTH AS SHOWN
- PROPOSED CLUSTER HOME (288 s.f. Typ.). THE FRONT FOUR HOMES WILL BE CONSTRUCTED AS IN PHASE 2
- PROPOSED ADA ACCESSIBLE CLUISTER HOME (288 s.f.)
- PROPOSED 6' HIGH PRIVACY FENCE (CHAIN LINK WITH PRIVACY SLATS) ALONG NW & NE SIDES WHERE NO FENCE ALREADY EXISTS
- PROPOSED ASPHALT AREA
- PROPOSED CONCRETE SIDEWALK AND PATIO AREAS
- PROPOSED TRASH/RECYCLING ENCLOSURE TO BE SCREENED WITH 6' TALL PRIVACY FENCE & GATE
- POINT OF CONNECTION TO CITY WATER LINE, EXISTING WATER METER TO BE ABANDONED
- INSTALL 2" WATER METER AND 2-1/2" SERVICE LINES
- INSTALL 6" SEWER LATERAL CONNECTION TO CITY MAIN.
- INSTALL NEW TRANSFORMER VAULT ONSITE WITH POWER METER ON BACK OF ADA UNIT (SEE NOTE #4).
- NEW ADA VAN ACCESSIBLE STALL. VAN ACCESSIBLE SPACE TO BE ACCOMPANIED BY A STANDING "VAN ACCESSIBLE" SIGN, AND SLOPE OF ADA SPACE IS NOT TO EXCEED 2% IN ANY DIRECTION
- ALL PROPOSED SITE LIGHTING TO BE HOODED AND DOWNWARD FACING AND SHALL NOT ILLUMINATE OUTSIDE OF THE PROPOSED SITE
- PROPOSED PATHWAY LIGHTING TO CONSIST OF LIGHT BOLLARDS SPACED AS SHOWN
- PROPOSED MASTER STORMWATER FACILITY
- PROPOSED 15.7x8' PATIO (125.6sq.ft.) AT EACH STRUCTURE FOR PRIVATE OPEN SPACE
- PROPOSED OFFICE/LAUNDRY BUILDING
- PROPOSED 4' HIGH FENCE ALONG MADRAS-PRINEVILLE HIGHWAY FRONTAGE

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KLAMATH FALLS, OREGON 97601

R-C
RHINE-CROSS
GROUP



RENEWALS: 12-31-2025
04-30-2025

Prineville Cluster Housing

SHEET NAME:

Siteplan
Detail

DRAWN BY: TDC

CHKD BY: MDC

DATE: APRIL 2025

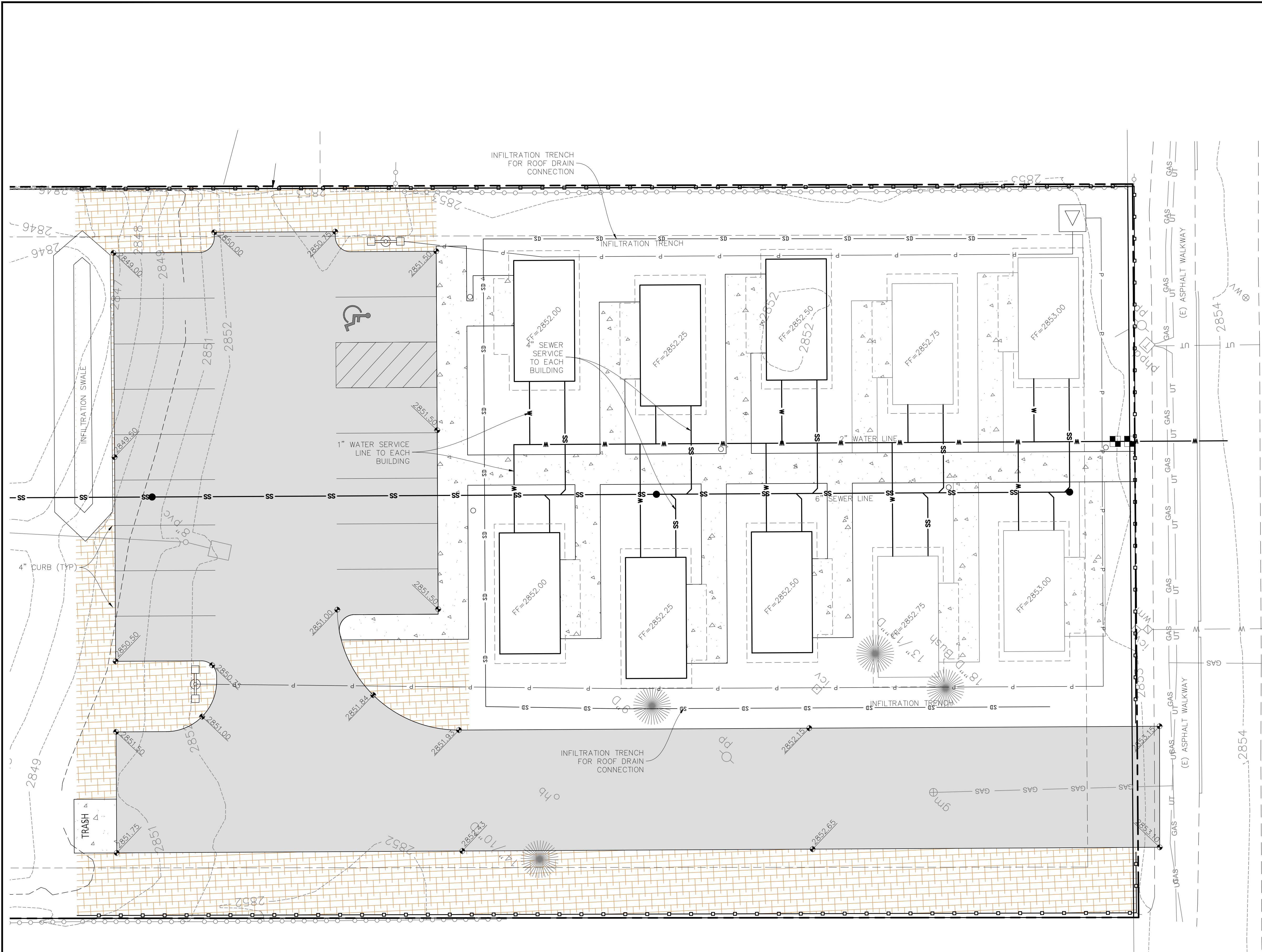
REVISIONS:

JOB NO.

2328

SHEET NO.

T2



MADRAS-PRINEVILLE HIGHWAY

GENERAL NOTES:

ALL STREET IMPROVEMENTS, SEWER, AND STORMWATER UTILITIES INFRASTRUCTURE LOCATED IN THE RIGHTS-OF-WAY SHALL BE PUBLIC. ALL UTILITIES OUTSIDE OF THE PUBLIC ROADWAY AND OR PUBLIC UTILITY EASEMENTS SHALL REMAIN PRIVATE.

ALL SIDEWALKS WILL BE DESIGNED AND CONSTRUCTED TO CITY OF PRINEVILLE, ODOT, AND ADA SIDEWALK STANDARDS. DETAILS OF THESE WILL BE PROVIDED IN THE REQUIRED SITE CONSTRUCTION DRAWINGS.

SANITARY SEWER:

1. 8" SANITARY MAIN EXISTS WITHIN NW MADRAS-PRINEVILLE HIGHWAY. A 6" PUBLIC SEWER LATERAL WILL BE CONNECTED TO THIS LINE AND PRIVATE LINES WILL BE ROUTED THROUGH THE SITE TO COLLECT AND ROUTE SEWER TO THE PROPOSED SINGLE LATERAL.

2. SANITARY SEWER SERVICE WILL BE PROVIDED BY THE CITY OF PRINEVILLE.

STORM SEWER:

1. ALL RUNOFF FROM ROOFS AND STREET AREAS WILL BE COLLECTED INTO A STORM SYSTEM AND ROUTED TO AN ONSITE MASTER STORMWATER FACILITY AS SHOWN.

2. DEVELOPED STORM-WATER RUNOFF WILL BE RETAINED ONSITE IN INFILTRATION SWALES AND ROOF DRAIN INFILTRATION TRENCHES. ALL STORMWATER RETENTION AND DETENTION WILL MEET CITY OF PRINEVILLE STANDARDS. A STORMWATER INFILTRATION SWALE WILL BE LOCATED ON THE SOUTHEAST SIDE OF THE PROJECT AT THE NATURAL LOW POINT.

3. ALL STORM LINES WITHIN THE PUBLIC RIGHT OF WAYS WILL REMAIN PUBLIC.

4. ALL STORM LINES AND DETENTION FACILITIES OUTSIDE OF THE PUBLIC RIGHT OF WAY WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

5. STORM-WATER OVERFLOW WILL BE ROUTED TO THE MADRAS-PRINEVILLE HIGHWAY STREET CURB LINE AND ROUTED TO EXISTING CATCH BASINS SOUTH OF THE SITE.

DOMESTIC WATER:

1. AN 8" WATER MAIN EXISTS WITHIN MADRAS-PRINEVILLE HIGHWAY WITH WATER PROVIDED BY CITY OF PRINEVILLE WATER.

2. A 2" WATER METER WILL BE CONNECTED TO THE PUBLIC MAIN AND ROUTED ONSITE FOR SERVICE TO EACH STRUCTURE.

OTHER UTILITIES:

1. A GAS MAIN EXISTS WITHIN MADRAS-PRINEVILLE HIGHWAY AND WILL BE CONNECTED TO IF GAS SERVICE IS DESIRED.

2. POWER IS AVAILABLE SOUTHEAST OF THE SITE. SERVICE WILL BE PROVIDED BY PACIFIC POWER. A NEW TRANSFORMER WILL BE SET ONSITE WITH THE MAIN METER INSTALLATION TO BE DETERMINED.

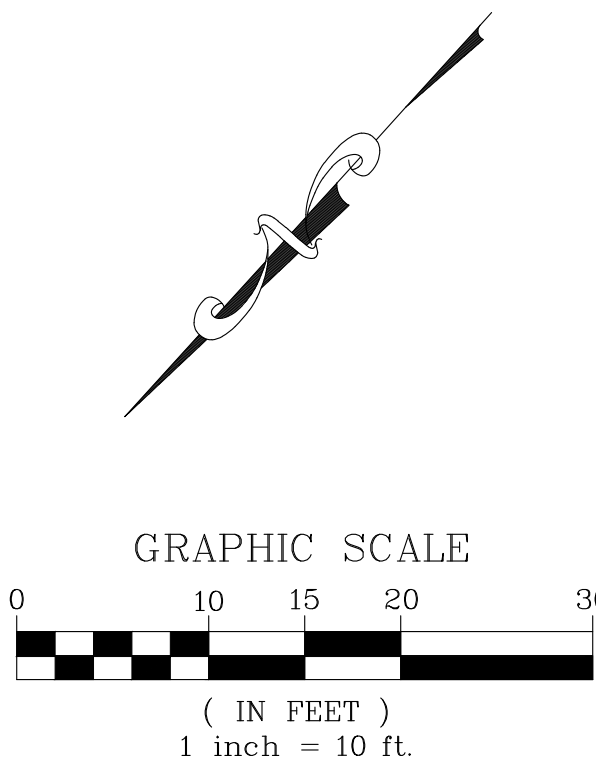
3. COMMUNICATIONS IS AVAILABLE AT THE STREET FRONTAGE.

4. STREET LIGHTS WILL BE PROVIDED AS SHOWN. THE FINAL DESIGN WILL BE DEVELOPED DURING THE FINAL CONSTRUCTION DOCUMENTS.

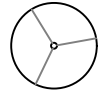
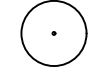
5. ALL UTILITIES WILL BE ROUTED THROUGH THE SITE IN UNDERGROUND CONDUITS WITH EASEMENTS IF NECESSARY.

GRADING:

APPROXIMATELY 1,500 cu.yds. EXCAVATION WILL BE NECESSARY TO CONSTRUCT SITE DEVELOPMENT. THE AREA OF GRADING WILL BE LESS THAN 1 ACRE, THEREFORE A DEQ 1200-C PERMIT IS NOT REQUIRED FOR THIS PROJECT. A CITY OF PRINEVILLE SITE GRADING & EROSION CONTROL PERMIT WILL BE REQUIRED.



Tree Planting Schedule

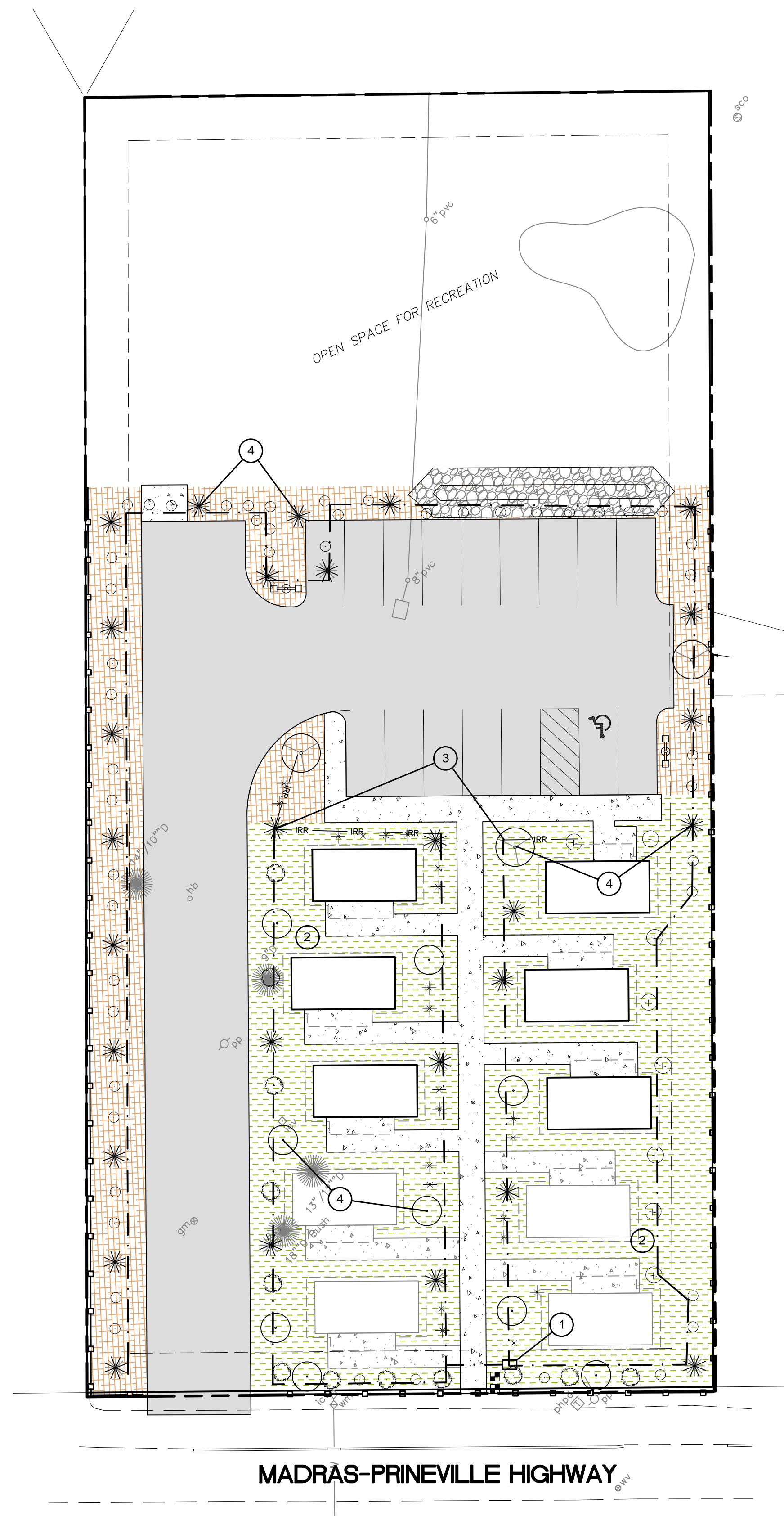
	3	CERCIS CANADENSIS EASTERN REDBUD	STREET TREE	2" CAL., 10'-12' HT.
	28	PINUS PONDEROSA PONDEROSA PINE	SITE TREE	8' HT.
	9	ACER GRISEUM PAPERBARK MAPLE	PARKING LOT TREE	2" CAL., 10'-12' HT.

Shrub and Grass Planting Schedule

	8	SYMPHORICARPOS ALBUS COMMON SNOWBERRY	5 GAL.
	49	MAHONIA HAEMATOCARPA RED BARBERRY	1 GAL.
	13	EUNYMUS ALATUS 'COMPACTUS' COMPACT BURNING BUSH	5 GAL.
	22	HEUCTOTRICHON SEMPERVIRENS BLUE OAT GRASS	5'-6' HT.

SHADING LEGEND:
(TOTAL SITE AREA: 30,174 sq.ft.)

	PROPOSED LAWN (SOD) (3,520 sq.ft.)
	PROPOSED RIVER ROCK SWALE (875 sq.ft.)
	



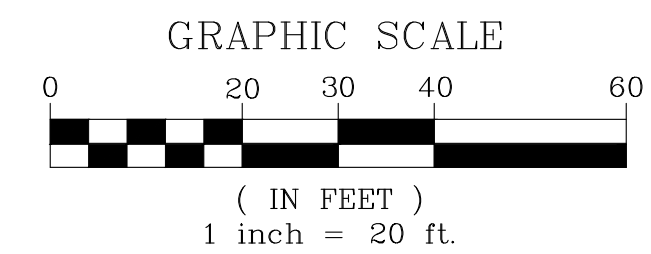
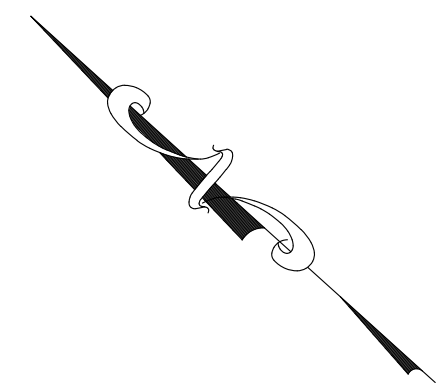
Irrigation Schedule

- 6-ZONE IRRIGATION CONTROL VALVE BOX. VALVE BOX TO BE FED BY DOMESTIC WATER LINE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN BUILD SYSTEM INCLUDING PUMPS, CONTROLS, EXPANSION TANKS, ETC.
- ALL LAWN AREAS SHALL BE ADEQUATELY COVERED BY TURF ROTATOR 4" POP UP HEADS. LOCATIONS SHALL BE APPROVED BY OWNER
- INSTALL DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. (typ.)
- INSTALL DOUBLE TREE RING DRIPLINE AT EACH TREE LOCATION, FIRST RING SHALL BE 12" FROM TRUNK, SECOND RING 24" (typ.)

- THIS PLAN IS DIAGRAMMATICAL; ALL PIPING, VALVES, SPRINKLER HEADS ETC. SHALL BE INSTALLED BY LANDSCAPE CONTRACTOR AND FOLLOW THIS PLAN AS CLOSE AS IS PRACTICAL
- ALL MAINLINE IRRIGATION PIPES SHALL BE INSTALLED AT 24" DEPTH WITH LATERALS AT 12" DEPTH.
- CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NEEDED TO OBTAIN FULL COVERAGE AND SHALL SUBSTITUTE PLANT SPECIES IF NECESSARY BASED ON AVAILABILITY.
- ALL ROAD AND SIDEWALK CROSSING SHALL BE INSTALLED IN CLASS 200 PVC SLEEVES AT 24" MIN. DEPTH.

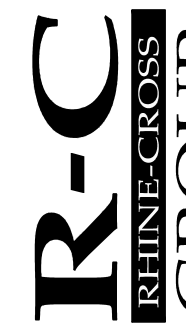
LEGEND:

- IRRIGATION MAINLINE, PVC SCH 40 PIPE 1-1/2" DIA WITH 3/4" DIA LATERALS TO SPRINKLER HEADS
- DRIP LINE



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Prineville Cluster Housing

PRINEVILLE OREGON

SHEET NAME:
Preliminary Landscape Plan

DRAWN BY: TDC
CHKD BY: MDC
DATE: APRIL 2025

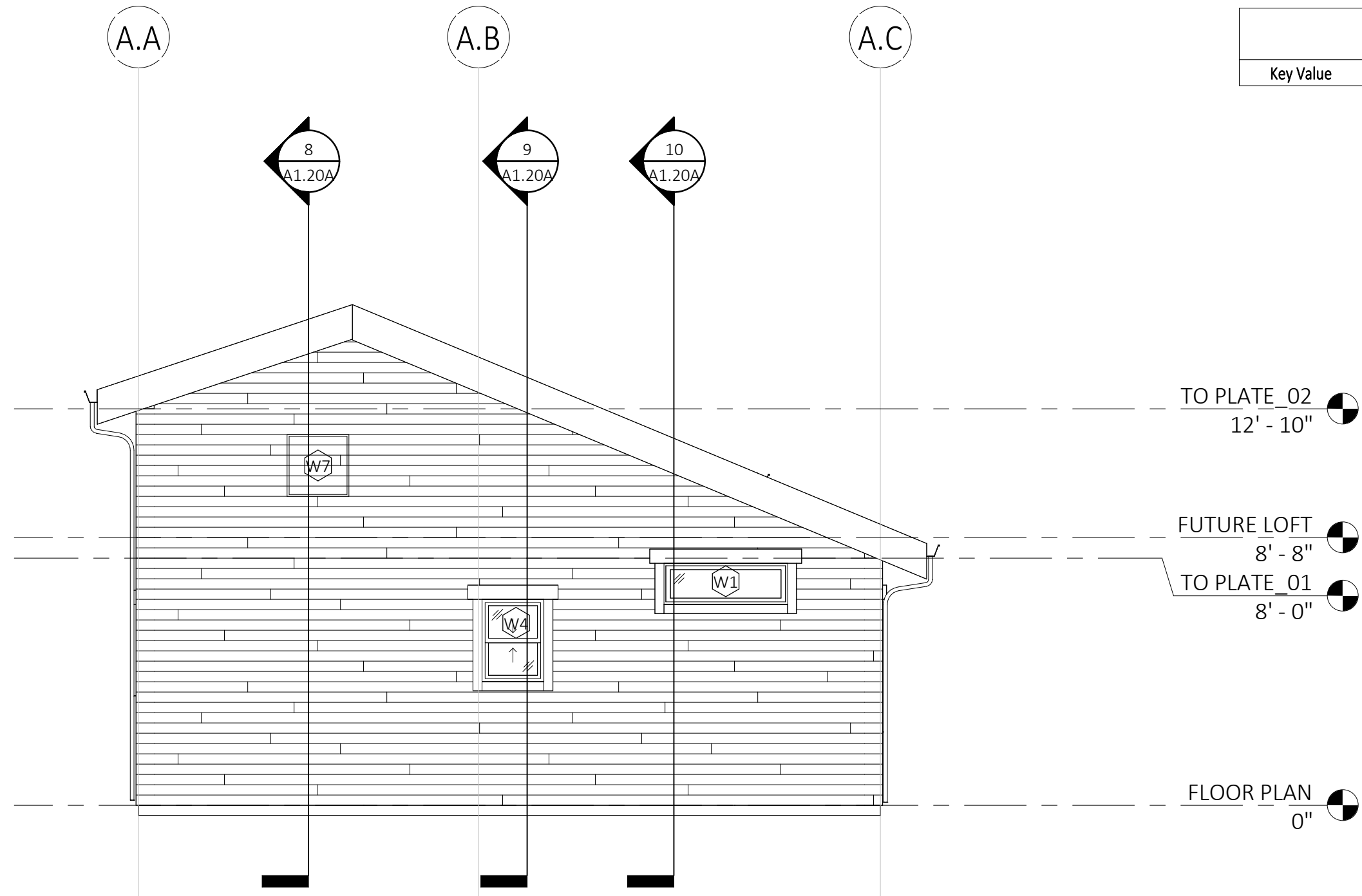
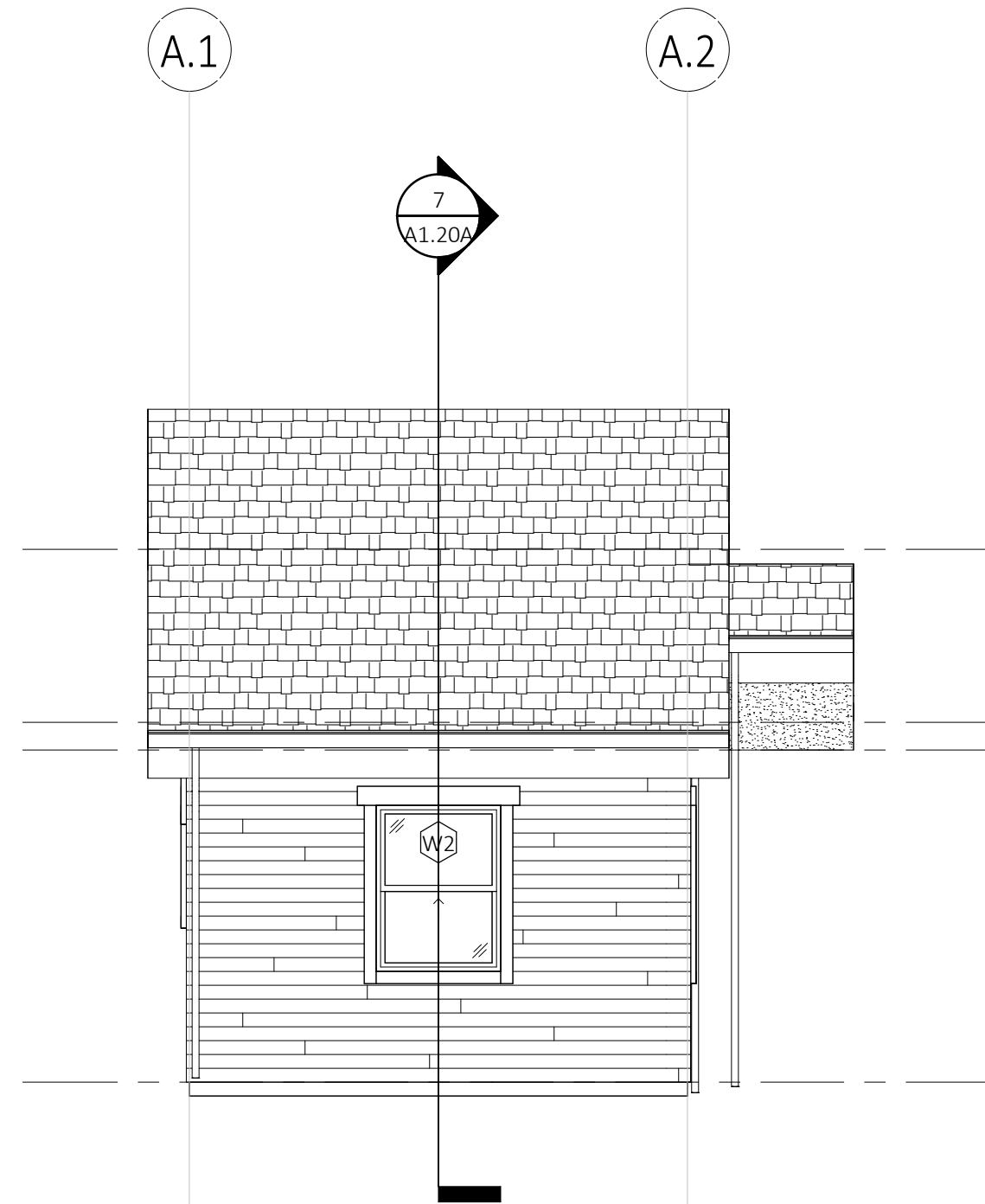
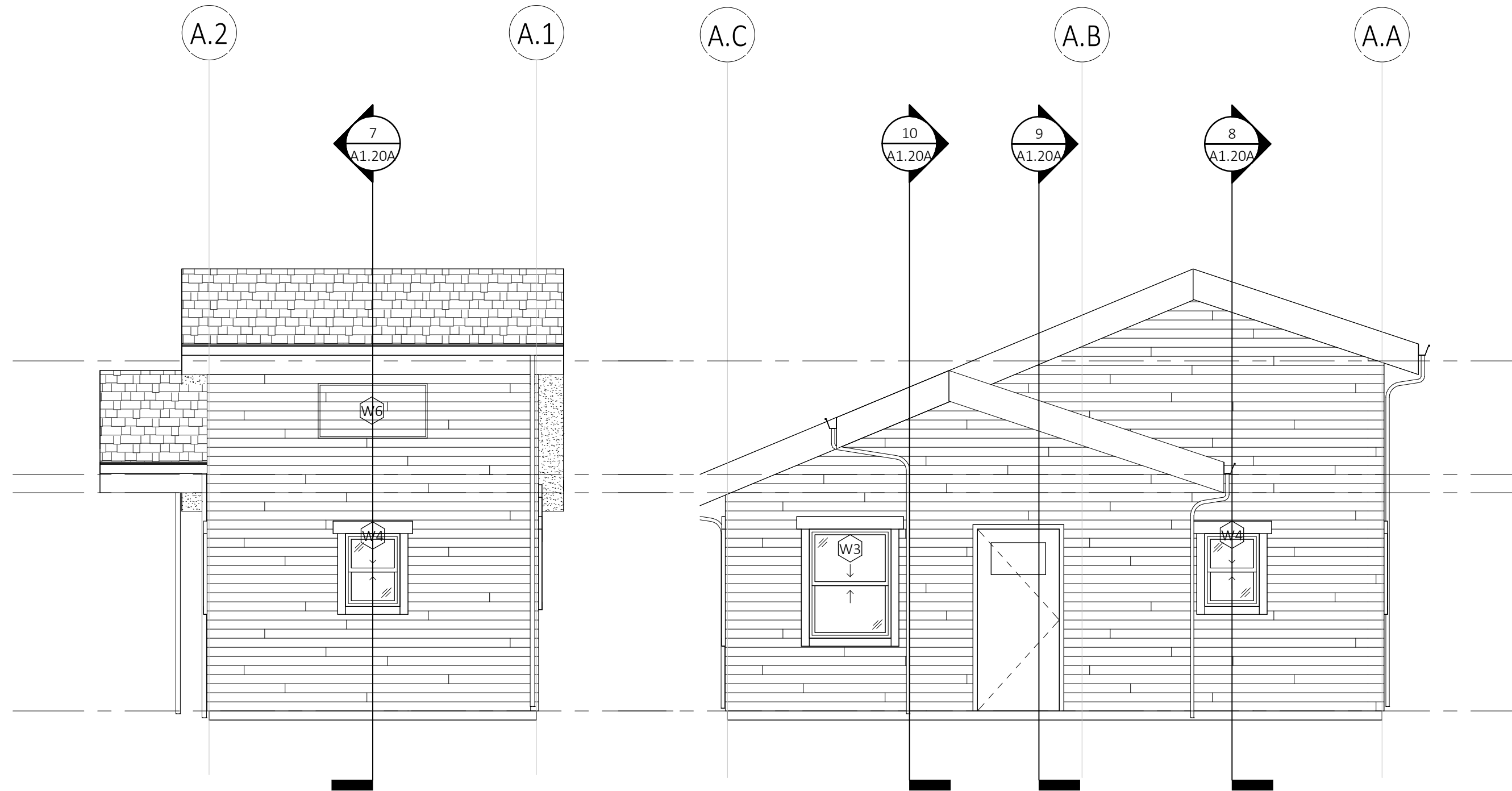
REVISIONS:

JOB NO.
2328

SHEET NO.

T4

KEYNOTES - EXTERIOR ELEVATIONS	
Key Value	Keynote Text

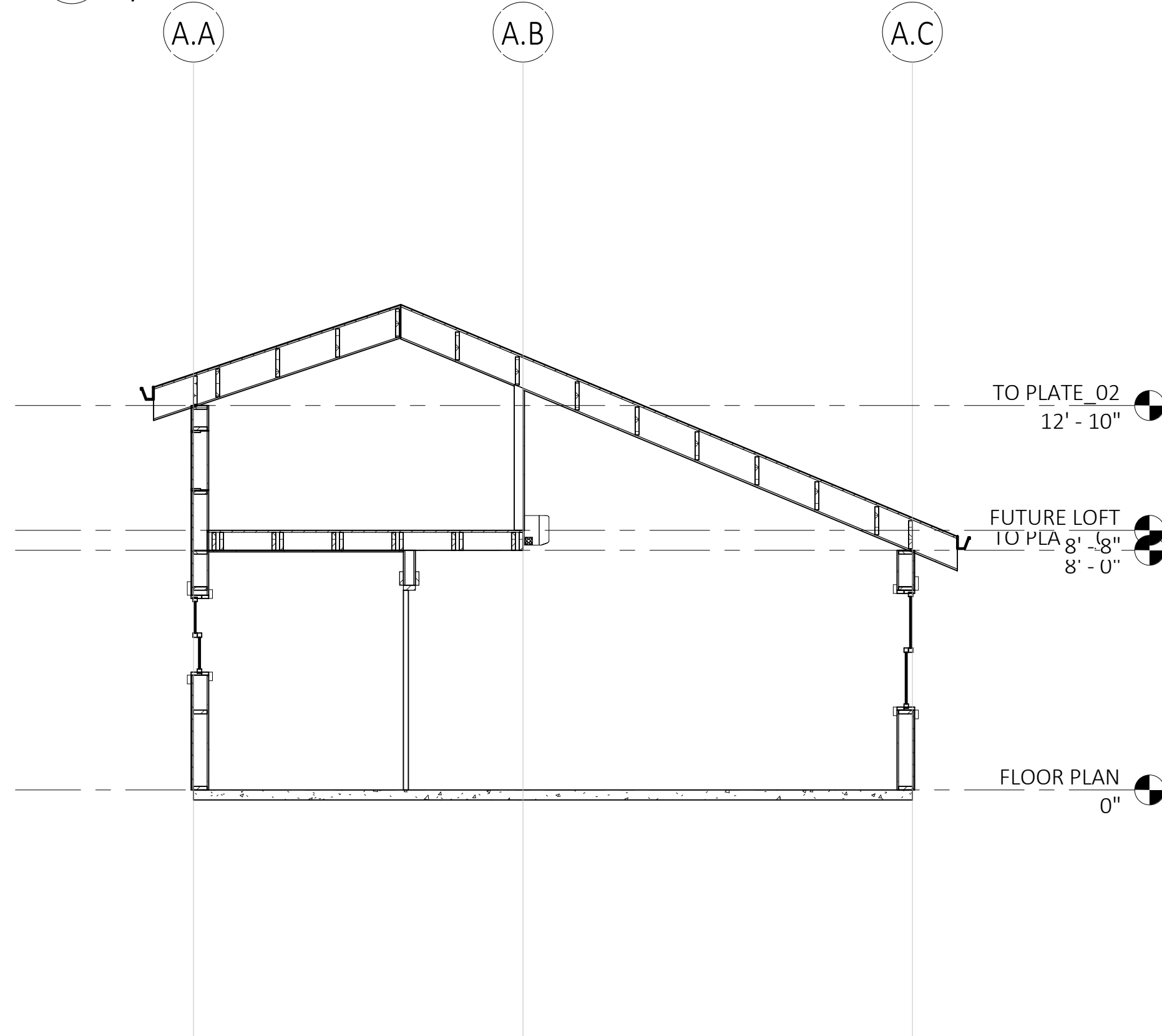
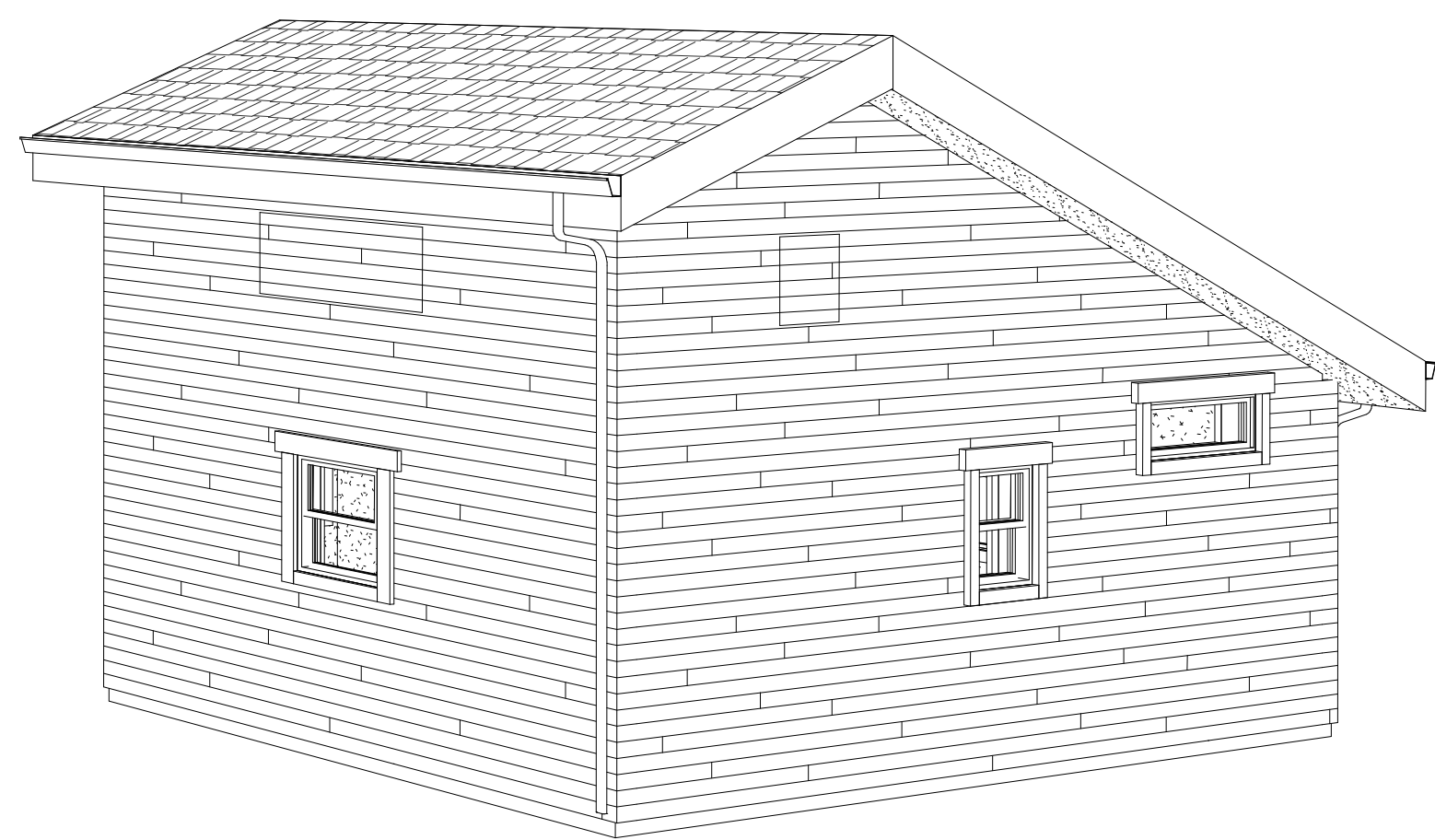
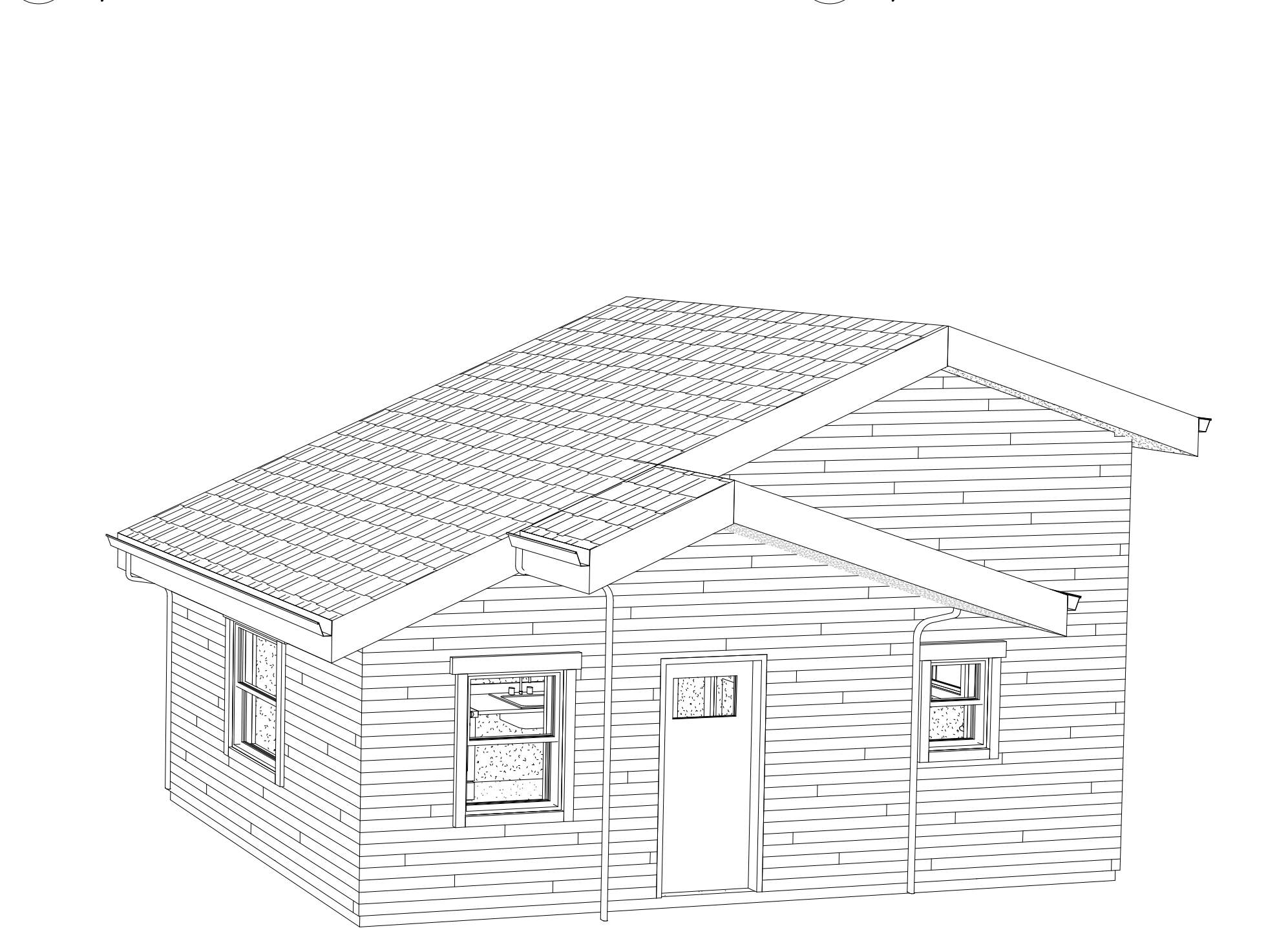


1 ADA - NORTH ELEVATION
1/4" = 1'-0"

2 ADA - EAST ELEVATION
1/4" = 1'-0"

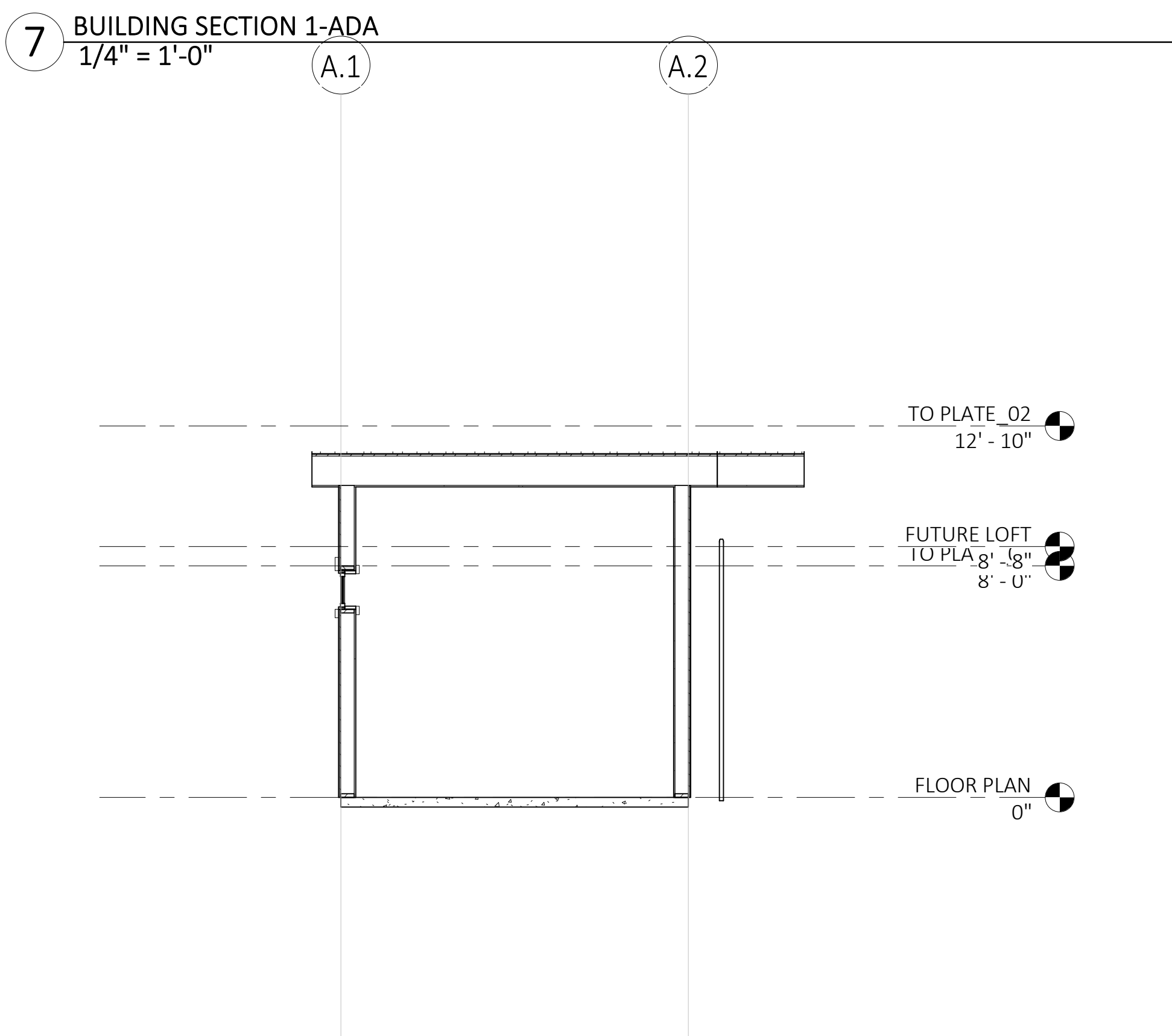
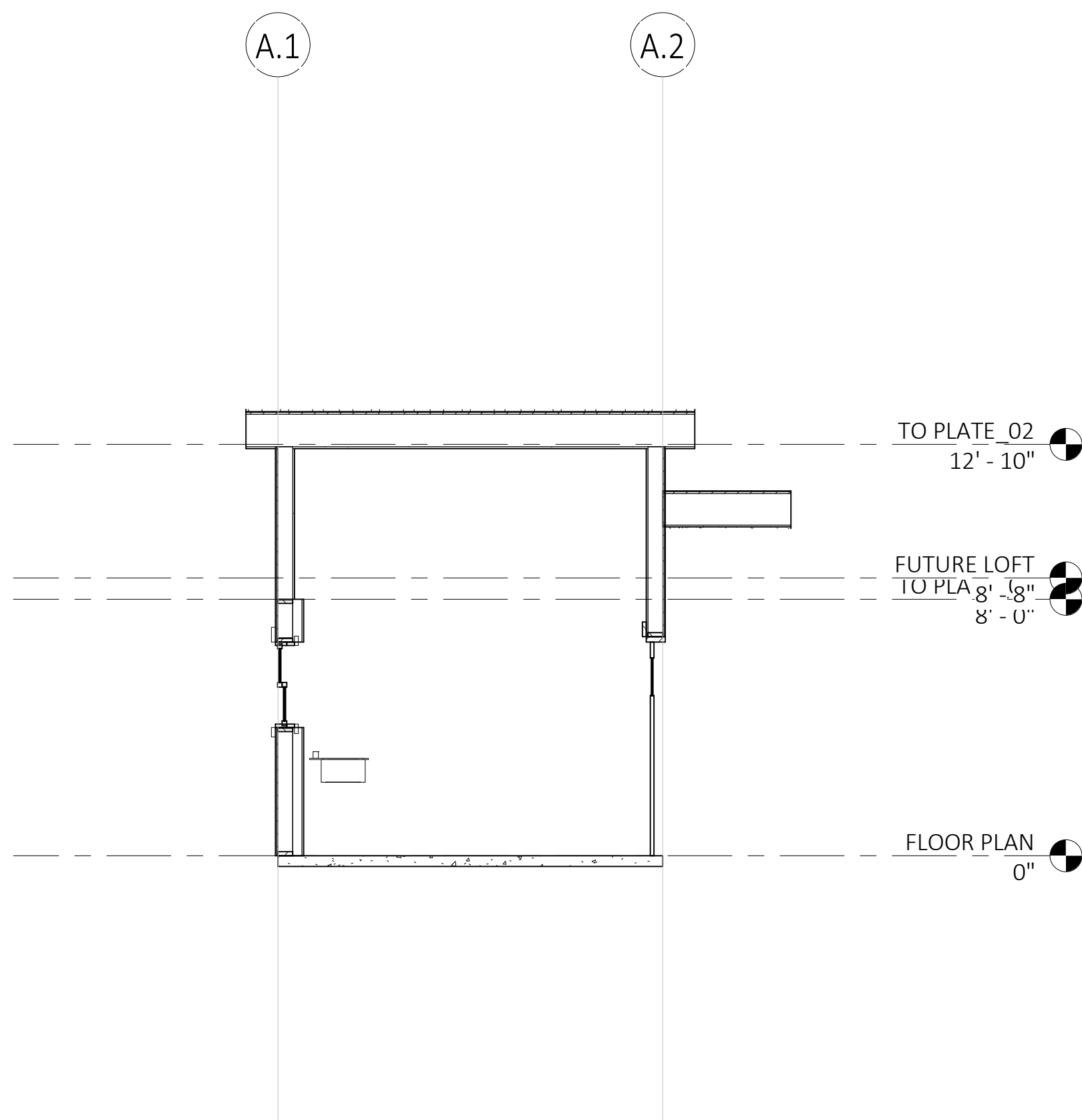
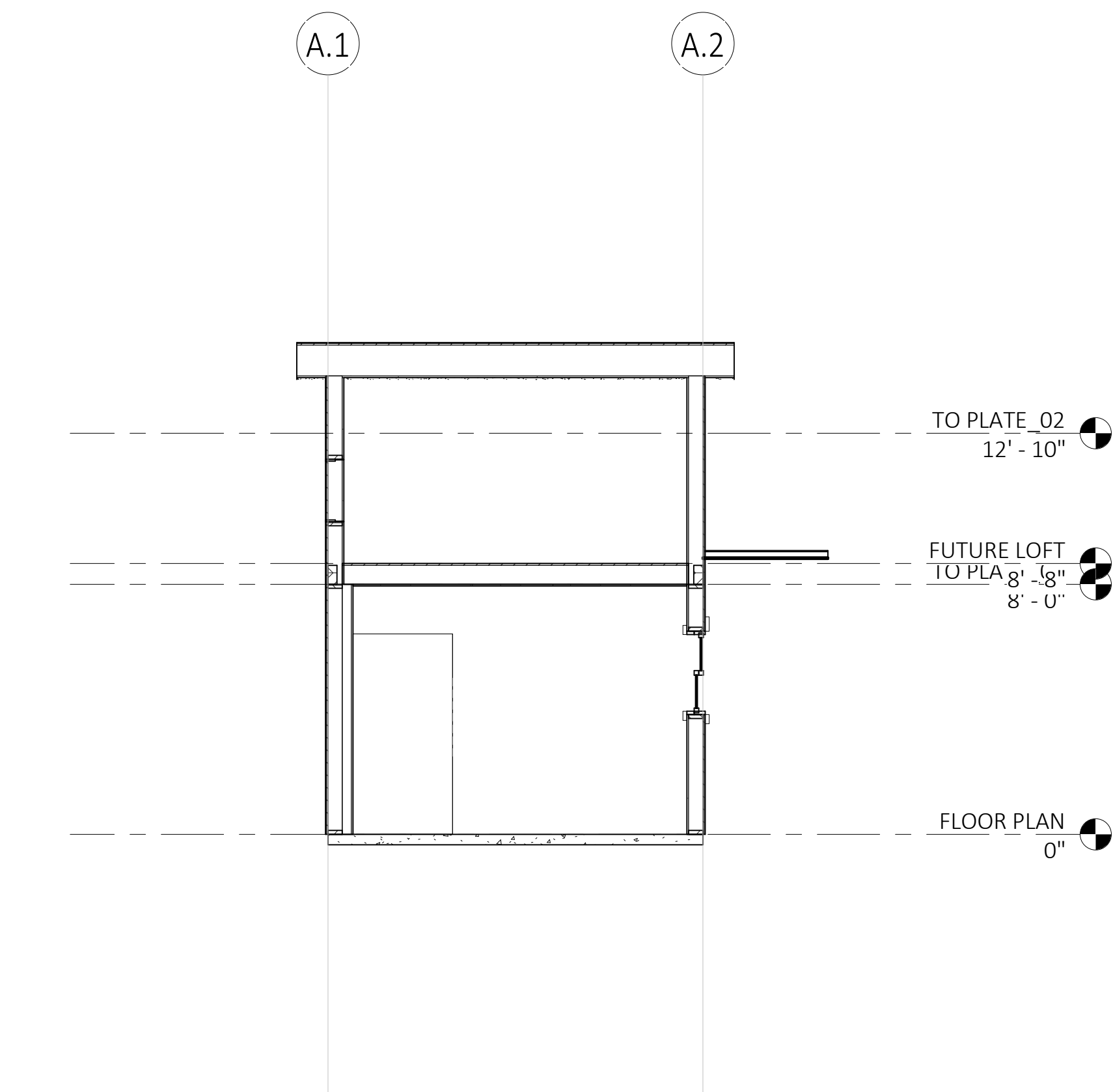
3 ADA - SOUTH ELEVATION
1/4" = 1'-0"

4 ADA - WEST ELEVATION
1/4" = 1'-0"



5 3D VIEW 1

6 3D VIEW 2



8 BUILDING SECTION 2 - ADA
1/4" = 1'-0"

9 BUILDING SECTION 3 - ADA
1/4" = 1'-0"

10 BUILDING SECTION 4 - ADA
1/4" = 1'-0"



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architecture, inc.
"ENHANCING LIVES AND COMMUNITIES"

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BESTCARE CLUSTER
HOUSING - PRINEVILLE
CLIENT:
BESTCARE TREATMENT SERVICES

PROJECT ADDRESS:
996 NW MADRAS HWY
PRINEVILLE OR 97754

APPROVED FOR	DATE	BY
LANDUSE APPLICATION	04.05.2024	Approved

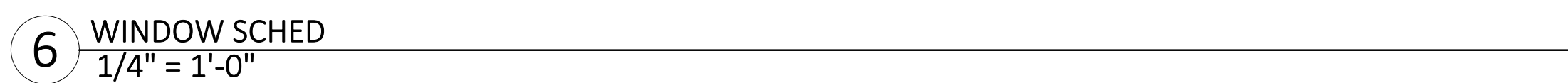
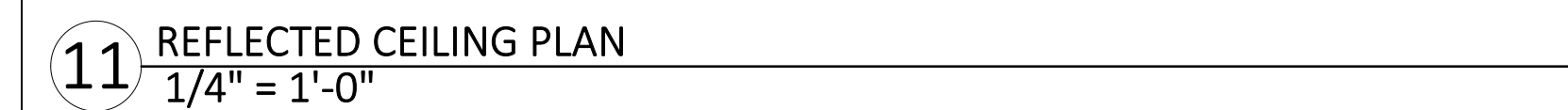
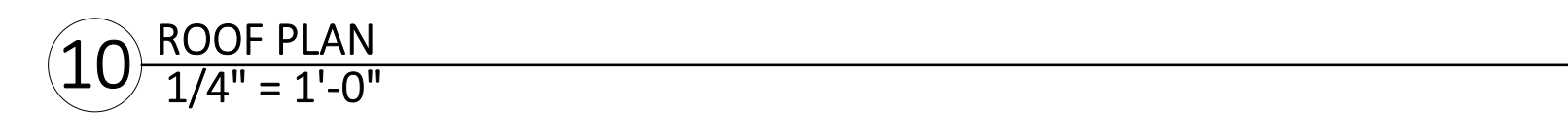
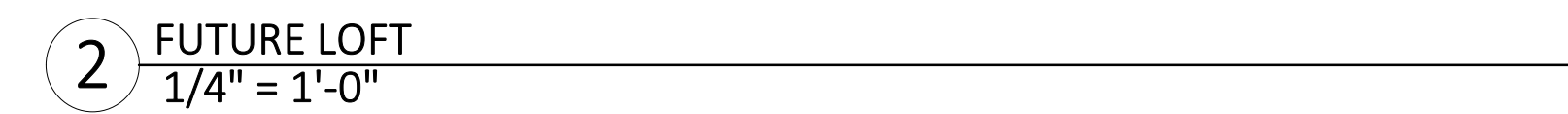
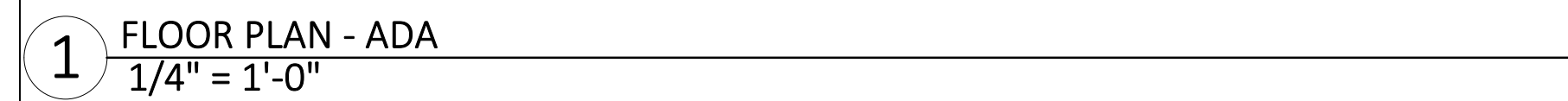
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PROJECT NO: 2332.BCC
DRAWN BY: MD
CHECKED BY: Checker
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EXTERIOR ELEVATIONS AND BUILDING SECTIONS

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4/3/2024 4:51:36 PM

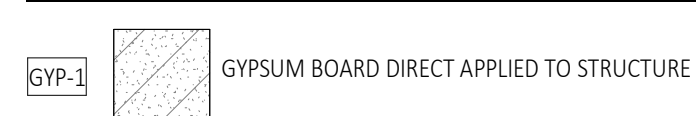


W1	1'- 4"	4'- 0"	7'- 10"						
W2	4'- 0"	3'- 0"	6'- 8"						
W3	4'- 0"	3'- 0"	6'- 8"						
W4	<varies>	2'- 0"	<varies>						
W6	2'- 0"	4'- 0"	3'- 4"						
W7	2'- 0"	2'- 0"	3'- 4"						

KEYNOTES - ROOF PLAN	
Key Value	Keynote Text



GYP-1 GYPSUM BOARD DIRECT APPLIED TO STRUCTURE



DS PREFINISHED METAL DOWNSPOUT

R1

		7/16" FIBER CEMENT LAP SIDING: 4" REVEAL WEATHER RESISTIVE BARRIER PLY WD SHEATHING 2X6 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION VAPOR RETARDER 5/8" TYPE "X" GYPSUM WALLBOARD	
MARK		FIRE RESISTANCE/ SOURCE: STC RATING:	1 HOUR(S) U326
6-E1			

	5/8" TYPE "X" GYPSUM WALLBOARD 2X4 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION 5/8" TYPE "X" GYPSUM WALLBOARD		
	MARK 6-01	FIRE RESISTANCE/ SOURCE: STC RATING:	1 HOUR(S) GA WP 3514 35-39

			5/8" TYPE "X" GYPSUM WALLBOARD
			2X4 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION
			5/8" TYPE "X" GYPSUM WALLBOARD
MARK		FIRE RESISTANCE/	1 HOUR(S)
6-01		SOURCE:	GA WP 3514
		STC RATING:	35-39

	2X4 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION - 5/8" TYPE 'X' GYPSUM WALLBOARD	
MARK 6-01	FIRE RESISTANCE/ SOURCE: STC RATING:	1 HOUR(S) GA WP 3514 35-39

	5/8" TYPE 'X' GYPSUM WALLBOARD	
MARK 6-01	FIRE RESISTANCE/ SOURCE: STC RATING:	1 HOUR(S) GA-WP 3514 35-39
	5/8" TYPE 'X' GYPSUM WALLBOARD 2X4 DIMENSIONAL LUMBER	

	MARK 6-01	FIRE RESISTANCE/ SOURCE: STC RATING:	1 HOUR(S) GA WP 3514 35-39
		5/8" TYPE "X" GYPSUM WALLBOARD 2X4 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION	

MARK		FIRE RESISTANCE/	1 HOUR(S)
6-01		SOURCE:	GA WP 3514
		STC RATING:	35-39

	5/8" TYPE "X" GYPSUM WALLBOARD 2X4 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION
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0-01	STC RATING:	35-39
	5/8" TYPE "X" GYPSUM WALLBOARD 2X4 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION	
MARK	FIRE RESISTANCE/ SOURCE:	
0-05		

	5/8" TYPE "X" GYPSUM WALLBOARD - 2X4 DIMENSIONAL LUMBER ACUSTIC BATT INSULATION	
MARK 6-05	FIRE RESISTANCE/ SOURCE: STC RATING:	

		5/8" TYPE 'X' GYPSUM WALLBOARD 2X4 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION		
MARK 6-05		FIRE RESISTANCE/ SOURCE: STC RATING:		

		2X4 DIMENSIONAL LUMBER ACUSTIC BATT INSULATION		
MARK 6-05		FIRE RESISTANCE/ SOURCE: STC RATING:		
		5/8" TYPE 'X' GYPSUM WALLBOARD		

	MARK 6-05	FIRE RESISTANCE/ SOURCE: STC RATING:
	5/8" TYPE 'X' GYPSUM WALLBOARD 2X6 DIMENSION LUMBER ACOUSTIC BATT INSULATION	

MARK		FIRE RESISTANCE/	
6-05		SOURCE:	
		STC RATING:	
		5/8" TYPE 'X' GYPSUM WALLBOARD	
		2X6 DIMENSIONAL LUMBER	
		ACOUSTIC BATT INSULATION	
		5/8" TYPE 'X' GYPSUM WALLBOARD	

6-05	SOURCE:	
	STC RATING:	
	5/8" TYPE 'X' GYPSUM WALLBOARD	
	2X6 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION	
	5/8" TYPE 'X' GYPSUM WALLBOARD	
MARK	FIRE RESISTANCE/	1 HOUR(S)

		5/8" TYPE "X" GYPSUM WALLBOARD 2X6 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION 5/8" TYPE "X" GYPSUM WALLBOARD	
MARK 6-11		FIRE RESISTANCE/ SOURCE: STC RATING:	1 HOUR(S) GA WP 3660

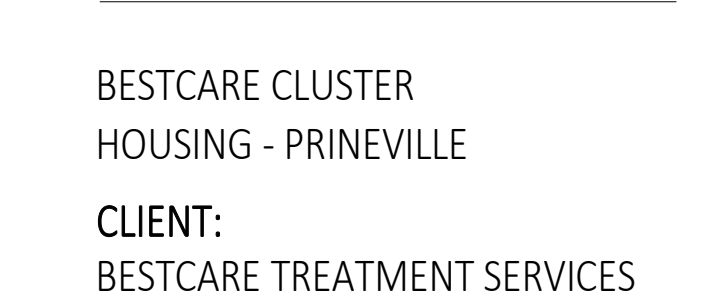
	5/8" TYPE 'X' GYPSUM WALLBOARD	
	2X6 DIMENSIONAL LUMBER ACOUSTIC BATT INSULATION	
	5/8" TYPE 'X' GYPSUM WALLBOARD	
MARK	FIRE RESISTANCE/	1 HOUR(S)
6-11	SOURCE:	GA WP 3660
	STC RATING:	-

	2X6 DIMENSIONAL LUMBER ACUSTIC BATT INSULATION 5/8" TYPE "X" GYPSUM WALLBOARD	
MARK 6-11	FIRE RESISTANCE/ SOURCE: STC RATING:	1 HOUR(S) GA WP 3660 -

1. SEE SCHEDULE A1.10 FOR WALL, FLOOR AND ROOF ASSEMBLIES
2. SEE GS 10 FOR MOUNTING HEIGHTS AND ACCESSIBILITY DETAILS
3. DOOR AND WINDOW DIMENSIONS ARE TO CENTER OF GROUP OPENING, UNLESS NOTED OTHERWISE
4. IF WINDOW DIMENSIONS ARE LISTED AS "TO FINISH WINDOW AND SMOOTH TRIM", UNLESS NOTED OTHERWISE,
5. REFER TO REPLACEMENT SCHEDULE SHEET AXX FOR ADDITIONAL ITEMS TO BE REMOVED AND REPLACED IN EACH UNIT.
6. CONTRACTORS TO FIELD VERIFY EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING DOORS AND WINDOWS.
7. ALL DOORS WITH GLAZING TO HAVE SAFETY GLAZING PER CODE.
8. CONTRACTOR SHALL PROVIDE MEANS TO PROTECT THE PUBLIC AND WORKERS DURING THE DEMOLITION PROCESS.
9. DOOR AND WINDOW SUPPLIER RESPONSIBLE FOR LOCATING HARDWARE IN ACCESSIBLE UNIT TO BE LESS THAN 48" ABOVE FINISH FLOOR INCLUDING BLIND CONTROLS.
10. WINDOW SUPPLIER RESPONSIBLE FOR GLAZING WITHIN 24" OF DOOR TO BE TEMPERED.
11. IF SHEET AXX FOR FINISH FLOOR IS NOT PROVIDED, CONTRACTOR TO PROVIDE FINISH FLOOR TO THE RESIDENT CHANNEL TO NOT BE INSTALLED ON WALLS WITH MOUNTED FIXTURES. USE OPPOSITE SIDE.
- 12.

1. REFER TO ELECTRICAL SHEETS FOR FIXTURES.
2. CEILING HEIGHT AT BOTTOM OF STRUCTURE UNLESS NOTED OTHERWISE

1. PARTITION TYPE TAGS ARE NOTED ON THE FLOOR PLANS. TYPICAL INTERIOR WALLS SHALL BE WALL TYPE 6-02-1 WITH WALL CONFIGURATION A1, UNLESS OTHERWISE NOTED ON DRAWINGS.
2. REFERENCE GL 10-8 AND GL 11-3 SENSING DRAWINGS FOR LOCATION AND EXTENT OF RATED PARTITIONS. ANY DISCREPANCY TO BE IDENTIFIED AND CLARIFICATION BEFORE CONSTRUCTION.
3. ALL FIRE-RATED ASSEMBLIES ARE BASED UPON IBC, AMERICAN WOOD COUNCIL (AWC), U.L. OR U.S. GYPSUM ASSOCIATION (GSA) TEST DATA. FIRE RATED PARTITIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TESTING AGENCIES. REFER TO SPECIFIC TEST REPORTS FOR ADDITIONAL INFORMATION.
4. MAINTAIN FIRE RESISTANCE RATING FOR ALL CONSTRUCTION INDICATED AT THROUGH-WALL PENETRATIONS, BUILT-IN WALL FUTURES, ACCESSORIES, AND BEHIND MAILBOXES, FIRE EXTINGUISHER CABINETS, PLUMBING FUTURES, ELECTRIC PANELS AND SIMILAR ITEMS, IN COMPLIANCE WITH REQUIREMENTS OF APPLICABLE CODES. COORDINATE CONSTRUCTION OF FIRE-RATED ASSEMBLIES WITH DESIGNATED DESIGN NUMBER.
5. ASSEMBLIES FOR FIRE RATED WALLS AND COLUMNS SHALL EXTEND FROM STRUCTURAL FLOOR TO UNDERSIDE OF FLOOR OR ROOF ABOVE, UNLESS OTHERWISE SPECIFICALLY NOTED OTHERWISE. ALL OPENINGS AND JOINTS SHALL BE PROTECTED AS REQUIRED BY CODE.
6. PROVIDE ALL PENETRATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF TESTING AGENCIES. REFER TO SPECIFIC TEST REPORTS FOR REQUIRED COMPONENTS AND ASSEMBLY. PROVIDE 90 DEGS. ACOUSTIC SEALANT AROUND WALL PERIMETER & OPENINGS AT BASE OF LAYER. INSTALL STUD RUNNER WITH ACOUSTIC FANG TAP WHERE DESIGNATED BY ASSEMBLY.
7. PROVIDE ALL PENETRATIONS TO BE CONSTRUCTED THROUGH ACOUSTICAL WALLS. FULL DEPTH OF GAPS AROUND CUT-OUTS FOR ELECTRICAL BOXES, PIPES AND PLUMBING, AND OTHER PENETRATIONS. OFFSET PENETRATIONS BY ONE STUD MINIMUM. PROVIDE INSULATION BETWEEN THE CONCEALED FACE OF FINISH MATERIALS (WITHIN THE STUD OR JOIST CAVITY) AND PIPES, PLUMBING, THE BACK OF BOXES, OR OTHER RECESSED FUTURES.
8. ALL OTHER PARTITIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFIC MATERIALS MFR AND INDUSTRY STANDARDS.
9. RATED WALL CONTIGUOUS THROUGH INTERSECTIONS WITH NON-RATED WALL, TYP.
10. STRUCTURAL DRAWINGS SHALL BE CONSIDERED.
11. COORDINATE WITH STRUCTURAL DRAWINGS FOR REQUIRED SHEAR-WALL SHEATHING. PROVIDE IN ADDITION TO COMPONENTS INDICATED ON WALL TYPE DETAILS AS REQUIRED.
12. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER DUTYS, PIPING, CONDUIT, ETC, THE LARGER STUD SIZE OF FURRING SHALL BE PROVIDED AND SHALL EXTEND THE FULL SURFACE OF THE WALL LENGTH AND HEIGHT WHERE THE FURRING OCCURS.
13. PROVIDE ALL NECESSARY ANCHORING BLOCKING, BACKING AND FRAMING FOR HANDRAILS, DOOR STOPS, ELECTRO-MAGNETIC HOLD-OPENERS, CASEWORK, SHELVING, MIRRORS, WALL MOUNTED EQUIPMENT AND ALL OTHER ITEMS TO BE PROVIDED AND SHALL EXTEND THE FULL SURFACE OF THE WALL LENGTH AND HEIGHT WHERE THE FURRING OCCURS.
14. FRAME AND FINISH OPENINGS FOR MECHANICAL AND ELECTRICAL SYSTEMS AS REQUIRED BY MECHANICAL/ELECTRICAL DOCUMENTS.
15. AT ALL TOILET ROOMS AND SHOWER ROOMS, SUBSTITUTE FACE LAYER GPB WITH (1) LAYER WATER RESISTANT BOARD.
16. FRAME WALL INTERSECTIONS AS A "CALF/PANOR CORNER" OR WITH FLAT BLOCKS TO MAXIMIZE THERMAL AND ACOUSTIC PERFORMANCE.
17. SEE SPEC SECTION 07-84 OF PRESTOPPING FOR FIRE STOPPING AND FIRE JOINT SYSTEM SCHEDULE.
18. CALCULATED PERMANENT LOADS SHALL BE PROVIDED AND SHALL EXTEND THE FULL SURFACE OF THE WALL LENGTH AND HEIGHT WHERE THE FURRING OCCURS.
19. WHERE ASSEMBLY TYPE UTILIZES ADDITIONAL FLOORING (GWS, RESILIENT CHAMBER, INSULATION, ETC) BEYOND REFERENCE STANDARD, BUILD ASSEMBLY TO MEET STANDARD PLUS ADDITIONAL LAYER AS OUTLINED HEREIN.
20. COORDINATE WITH STRUCTURAL DEPTH AND SPACING, INCREASED DEPTH IS ACCEPTABLE PER GENERAL EXPLANATORY NOTE 15 OF GSA FIRE RESISTANCE DESIGN MANUAL.
21. PROVIDE FIRE BLOCKING PER CODE.

BESTCARE CLUSTER
HOUSING - PRINEVILLE

CLIENT:
BESTCARE TREATMENT SERVICES

PROJECT ADDRESS:
996 NW MADRAS HWY
PRINEVILLE OR 97754

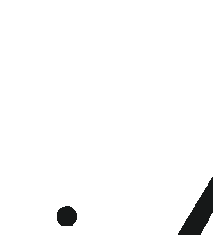
APPROVED FOR	DATE	BY
LANDUSE APPLICATION	04.05.2024	Approved

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PROJECT NO: 2332.BC
DRAWN BY: MD
CHECKED BY: Checker
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FLOOR PLAN, RCP AND ROOF
PLAN

A1.10A



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BESTCARE CLUSTER
HOUSING - PRINEVILLE
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PRINEVILLE OR 97754

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[illegible]

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EXTERIOR ELEVATIONS AND BUILDING SECTIONS

A1.20B

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